

AGENDA

Planning and Zoning Commission

April 1, 2020 – REGULAR MEETING

5:30 PM

The New Business items have been placed on the agenda in the order they were received. Please note that at 9:00 p.m., the Commission will evaluate the remainder of the agenda to determine if time constraints will permit the full agenda to be heard at this meeting. All items not heard at this meeting will be postponed to the next regularly scheduled PC/BOA meeting of April 15, 2020 or to a special meeting scheduled by the Commission.

NOTICE: THE VIDEO AND AUDIO FOR THIS MEETING ARE STREAMED TO THE PUBLIC VIA THE INTERNET AND MOBILE DEVICES WITH VIEWS THAT ENCOMPASS ALL AREAS, PARTICIPANTS AND AUDIENCE MEMBERS

PLEASE SILENCE ALL ELECTRONIC DEVICES DURING THE MEETING

1. NEW PUBLIC COMMENT OPTIONS

I Please read the attached document regarding how to give public comment.

WebEx link:

<https://townofjacksonwy.webex.com/townofjacksonwy/onstage/g.php?MTID=e80d0bc9467a321ea7c634130215>

password: toj

meeting number: 961 333 035

2. CALL TO ORDER

3. ROLL CALL

4. MATTERS FROM THE PUBLIC

5. APPROVAL OF MINUTES

I. January 15, 2020

II. February 5, 2020

III. February 19, 2020

IV. March 4, 2020

V. March 23, 2020

6. OLD BUSINESS

7. NEW BUSINESS

8. BOARD OF ADJUSTMENT
9. PLANNING COMMISSION
 - I. **ITEM P20-009 & 010:** DEVELOPMENT PLAN & HILLSIDE CONDITIONAL USE PERMIT (CUP) FOR A FUTURE 5-LOT SUBDIVISION AT 984 BUDGE DRIVE.
 - II. **ITEM P20-025:** DEVELOPMENT PLAN TO DEVELOP AN 8-UNIT APARTMENT BUILDING AT 445 VINE STREET
10. MATTERS FROM THE COMMISSION
11. AGENDA FOLLOWUP
12. MATTERS FROM STAFF
13. ADJOURNMENT

Due to recommended social distancing practices the public is encouraged to view meetings online and participate remotely. Planning Commissioners, presenters, and staff members may not be physically present at the meeting and may all be participating remotely.

Your options for watching or participating in public meetings:

To just watch a meeting live: www.jacksonwy.gov/live (town's website)

3 Ways to Make Public Comment, either on items that are on the agenda or not on the agenda

1. Public comment can be sent anytime via email to planningcommission@jacksonwy.gov. These emails get sent to each Planning Commissioner and are placed in the public record.
2. Public comment can be made virtually through a Webex platform in real-time.
 - a. In brief, those wishing to make verbal public comment may do so by joining the meeting via Webex and using the 'hand raise' feature.
 - b. Instructions are below for using the Webex platform.
3. Public comment can be made in-person at the Town Hall.
 - a. Planning Commissioners may participate remotely, so don't expect an in-person audience.
 - b. You will be speaking into a microphone without the Planning Commissioners present (please consider using Webex).
 - c. Due to the Public Health Order prohibiting gatherings of 10 or more people, and for the public's safety, the Town will be managing the social distance of public in attendance.
 - d. If a large number of community members come to a council meeting, you may be asked to wait outside or in your car until the item you are interested in begins.
 - i. Additional measures may be taken to ensure distancing.

Instructions to join a meeting via Webex:

This option is intended for those who wish to participate in a meeting as the applicant or a member of the community making public comment.

1. Pull-up the meeting agenda. The Webex link is provided on the agenda and is shown as the first item.
 2. Click the link or copy the URL to your browser. The Webex password is “toj”
 - a. Remember, Webex links will change for each meeting and will be found on the agenda.
 - i. Find meeting agendas here: <http://townofjackson.com/491/Agendas-Minutes>
 3. Type in your first and last name and your email address as prompted. The password is “toj”
 - a. Those who do not provide a valid name will not be recognized and will not have the ability to speak in the meeting.
 4. Once you have joined the meeting, familiarize yourself Webex’s tools and options.
 - a. Of particular importance is the “raise hand” feature. Please locate this tool if you desire to make public comment. This is the only way we will know you want to make a comment.
 - b. As you join the meeting, your audio will automatically be muted.
 5. When public comment is open. Town staff will look for those that have “raised their hand.” Your name will be announced, and your microphone will be unmuted. At that time, you can state your name and comment.
 - a. You will be heard by all those participating in or watching the meeting. Your video will not be projected, only audio.
 - b. Please be in a place with no background noise and speak in a clear, strong voice.
- Those using only the telephone call-in feature through Webex telephone will not be recognized.
 - The Webex chat feature will not be used.
 - We encourage you to log in early for any given meeting. Generally, the Town of Jackson strives to have the Webex platform ready at least 10 minutes before a listed meeting’s start time.
 - If you’ve not used Webex before, you may be required to download Webex’s tools and/or software and apps. The Webex platform, its tools, and apps are provided by Webex directly. As these services are from a third party, we aren’t able to provide support directly to end users. If you should have trouble with the platform, please reference Webex’s help resources at <https://help.Webex.com/en-us/>

Please understand for these virtual Planning Commission meetings, just like any public meeting, uncivil discourse, threatening language, or disruptions will not be allowed from participants.

**MINUTES
PLANNING AND ZONING COMMISSION
TOWN OF JACKSON, WYOMING
JANUARY 15, 2020**

The meeting of the Planning and Zoning Commission was called to order at 5:30 p.m. on 1/15/2020, in the Town Hall Council Chambers.

ROLL CALL:

☐ Anne Schuler, ☒ David Vandenberg, ☒ Katie Wilson, ☒ Abby Petri, ☒ William Gale,
☒ Thomas Smits

STAFF: Paul Anthony, Tyler Valentine

MATTERS FROM THE PUBLIC: None

APPROVAL OF MINUTES:

January 2, 2020

A motion was made by: Thomas Smits seconded by: Abby Petri
Motion approved by a 5 to 0 vote

NEW BUSINESS:

PLANNING COMMITTEE

- 1. ITEM P19-262: AMENDMENT TO THE FINAL (MAJOR) DEVELOPMENT PLAN FOR PINE GLADES PLANNED UNIT DEVELOPMENT (PUD).**

STAFF PRESENTATION: Tyler Valentine

APPLICANT PRESENTATION: Bill Collins, Erica Nash

PUBLIC COMMENT: Jim Wong, Laura Bonich, Charles Nodell, David Defazio, David Lloyd, Will Bradoff, Linda Damiano

PC DISCUSSION: The PC discussed the following topics: what type of public access was approved in original PUD approval; the history of the trail locations, the public/private nature

of the roads, the extent of liability to the homeowner if public access were allowed.

BY the end of the meeting, many PC members agreed that they had a few legal questions and would like the opportunity to speak with the Town Attorney about various issues before they felt comfortable making a recommendation.

MOTION:

Based upon the findings for a Development Plan as presented in the staff report related to 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact of public facilities & services; 4) Complies with Town Design Guidelines; 5) Compliance with LDRs & Town Ordinances; 6) Conformance with past permits & approvals as presented by the applicant and staff for Item P19-262, I move to recommend **approval** to the Town Council to amend a Development to allow the proposed modifications listed in the application related to exterior materials changes, the in-road heating element, and the trails plan, subject to the departmental reviews attached hereto and the following conditions of approval:

1. Prior to issuance of Certificate of Occupancy on the duplex at 140 & 142 Pine Glades Drive, the applicant shall apply for an addendum to the duplex building permits to revise all exterior elevations to reflect the approved materials and changes.
2. By no later than September 1, 2020, all trails and signage shall be installed and satisfactorily inspected. In addition, by no later than September 1, 2020 the applicant shall record public access easements for the approved trails to the satisfaction of Planning Director, Pathways Director, and Town Attorney. Signage shall include a requirement for a dog leash requirement at all trail entrances and exists.
3. The applicant shall work with the Fire Department and Planning Department on an appropriate landscape screening plan for the first section of trail above the cul-de-sac that does not conflict with the Wildland Urban Interface code requirements.
4. The applicant shall satisfactorily address all concerns from the Pathway Director.
5. The applicant shall make all efforts to not disturb mature Spruce trees in the section of the trail below the cul-de-sac. Any necessary removal of trees will require new trees to be planted to ensure adequate screening is maintained.

A motion was made to **CONTINUE** the meeting to February 5, 2020, by: Katie Wilson seconded by: William Gale
Motion approved by a 5 to 0 vote

OLD BUSINESS: None

MATTERS FROM COMMISSION: None

MATTERS FROM STAFF: Staff provided updates on ongoing planning efforts, such as Town Square/Historic Preservation LDR update, Growth Management Plan, and the Council's recent retreat.

ADJOURN: 7:30

A motion was made by: Katie Wilson seconded by: Thomas Smits
Motion approved by a _5_ to _0_ vote

**MINUTES
PLANNING AND ZONING COMMISSION
TOWN OF JACKSON, WYOMING
FEBRUARY5, 2020**

The meeting of the Planning and Zoning Commission was called to order at 5:30 p.m. on 2/5/2020, in the Town Hall Council Chambers.

ROLL CALL:

☒ Anne Schuler, ☒ David Vandenberg, ☐ Katie Wilson, ☒ Abby Petri, ☒ William Gale,
☒ Thomas Smits

STAFF: Paul Anthony, Lea Colasuonno, Tyler Valentine

MATTERS FROM THE PUBLIC: None

APPROVAL OF MINUTES: None

January 15, 2020

A motion was made by: _____ seconded by:
Motion approved or denied by a ___ to ___ vote

NEW BUSINESS:

PLANNING COMMITTEE

1. **ITEM P19-187:** AMENDMENT TO SECTION 8.10 DUTIES AND RESPONSIBILITIES IN THE LAND DEVELOPMENT REGULATIONS.

STAFF PRESENTATION: Paul Anthony

MOTION:

I move to continue Item P19-187 to the Planning Commission's regular meeting on March 4, 2020.

A motion was made by: Anne Schuler seconded by: Thomas Smits
Motion approved by a 5 to 0 vote

2. **ITEM P19-262:** AMENDMENT TO THE FINAL (MAJOR) DEVELOPMENT PLAN FOR PINE GLADES PLANNED UNIT DEVELOPMENT (PUD).

STAFF PRESENTATION: Tyler Valentine

APPLICANT PRESENTATION: Bill Collins, Erika Nash, Todd Cedarholm

PUBLIC COMMENT:

Jennifer Bragg (owner of an affordable duplex unit)
Mark Oblack (owner of market unit close to trail by the cul-de-sac)
Rajat Bhayan (owner of an affordable duplex unit)
Jim Woodmency (owner on Pine Drive)
Todd Cedarholm (Applicant Team)

PC DISCUSSION: PC discussed the following topics/comments:

- Significant concern about impact of trail on affordable duplex.
- Some concern that section 1 trail is too steep.
- General support for connecting Spruce Drive to Snow King trail system.
- General concern that the PC can make Finding 6 (consistency with prior approvals) with proposed trail plan.
- Continue to allow applicant additional time to modify trail plan.

MOTION:

Based upon the findings for a Development Plan as presented in the staff report related to 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact of public facilities & services; 4) Complies with Town Design Guidelines; 5) Compliance with LDRs & Town Ordinances; 6) Conformance with past permits & approvals as presented by the applicant and staff for Item P19-262, I move to recommend **approval** to the Town Council to amend a Development to allow the proposed modifications listed in the application related to exterior materials changes, the in-road heating element, and the trails plan, subject to the departmental reviews attached hereto and the following conditions of approval:

1. Prior to issuance of Certificate of Occupancy on the duplex at 140 & 142 Pine Glades Drive, the applicant shall apply for an addendum to the duplex building permits to revise all exterior elevations to reflect the approved materials and changes.
2. By no later than September 1, 2020, all trails and signage shall be installed and satisfactorily inspected. In addition, by no later than September 1, 2020 the applicant shall record public access easements for the approved trails to the satisfaction of the Planning Director, Pathways Director, and Town Attorney. Signage shall include a requirement for a dog leash requirement at all trail entrances and exists.

3. Prior to September 1, 2020, the applicant shall work with the Fire Department and Planning Department on an appropriate landscape screening plan for the first section of trail above the cul-de-sac that does not conflict with the Wildland Urban Interface code requirements.
4. The applicant shall satisfactorily address all concerns from the Pathways Director related to technical or engineering suggestions for the trails. Comments related to neighbor approval or unspecified ongoing concerns are not the responsibility of the applicant.
5. The applicant shall make all efforts to not disturb mature Spruce trees in the section of the trail below the cul-de-sac. Any necessary removal of trees will require new trees to be planted to ensure adequate screening is maintained. All new trees will require approval from the Fire Department and Planning Department.
6. The alternative trail route for Section #3 that goes above the duplex and hugs the parking area on Pines Glades Drive shall be the approved trail alignment.

A motion to CONTINUE to March 4 was made by: Anne Schuler seconded by: Abby Petri
Motion was approved by a _5_ to _0_ vote

OLD BUSINESS: None

MATTERS FROM COMMISSION: None

AGENDA FOLLOWUP: None

MATTERS FROM STAFF:

- Virginian Redevelopment
- Home Ranch Parking changes

ADJOURN:

A motion was made by: Anne Schuler seconded by: Thomas Smits
Motion approved by a _5_ to _0_ vote

**MINUTES
PLANNING AND ZONING COMMISSION
TOWN OF JACKSON, WYOMING
FEBRUARY 19, 2020**

The meeting of the Planning and Zoning Commission was called to order at 5:30 p.m. on 2/19/2020, in the Town Hall Council Chambers.

ROLL CALL:

☒ Anne Schuler, ☐ David Vandenberg, ☒ Katie Wilson, ☒ Abby Petri,
☒ William Gale (arrived at 5:49 for P19-291 only), ☒ Thomas Smits

STAFF: Paul Anthony, Tyler Valentine

MATTERS FROM THE PUBLIC: None

APPROVAL OF MINUTES:

n/a

NEW BUSINESS: None

BOARD OF ADJUSTMENT

1. **ITEMS P19-286:** REQUEST FOR A SIDE YARD (WEST) SETBACK VARIANCE IN THE COMMERCIAL RESIDENTIAL - 2 (CR-2) ZONING DISTRICT FOR THE PROPERTY LOCATED AT 375 W. BROADWAY AVENUE.

STAFF PRESENTATION: Tyler Valentine

APPLICANT PRESENTATION: Rachel Ravitz

PUBLIC COMMENT: None

PC DISCUSSION:

- General argument that application is reasonable and meets findings
- Some concerns was expressed about drainage from metal roof into ally but applicant addressed concerns

MOTION:

Based upon the findings for a Variance as presented in the staff report related to 1) Special conditions and circumstances exist; 2) Not result of applicant; 3) Strict application deprives reasonable use; 4) Minimum Variance; 5) Not injurious to neighborhood; and 6) Harmony with LDRs as presented by the applicant and staff for Item P19-286, I move to **approve** a Variance for a zero-foot side (west) setback for a roof eave for the property addressed at 375 W. Broadway Avenue, subject to the departmental reviews attached hereto and two conditions of approval:

1. The variance shall expire in one year from the date of approval unless a building permit is submitted.
2. The applicant shall ensure storm-water and snow are not discharged into the alley through use of gutter system, downspout and rooftop snow guards.

A motion was made by: Anne Schuler seconded by: Thomas Smits
Motion approved by a 4 to 0 vote

PLANNING COMMITTEE

1. **ITEM P19-291:** HILLSIDE CONDITIONAL USE PERMIT (CUP) FOR A NEW THREE-STORY MIXED-USE BUILDING IN THE COMMERCIAL RESIDENTIAL – 3 ZONING DISTRICT LOCATED AT 1140 WEST HIGHWAY 22.

STAFF PRESENTATION: Tyler Valentine

APPLICANT PRESENTATION: Matt Bowers, Cornelius Kinsey

PUBLIC COMMENT: None

PC DISCUSSION:

- Raised question of whether project should be required to have public review.

MOTION:

Based upon the findings as presented in the staff report and as made by the applicant for Item P19-291, I move to make findings 1-8 as set forth in Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations relating to 1) Compatibility with Future Character; 2) Use Standards; 3) Visual Impacts; 4) Minimizes adverse environmental impact; 5) Minimizes adverse impacts from nuisances; 6) Impact on Public Facilities; 7) Other Relevant Standards/LDRs; and 8) Previous Approvals for a Conditional Use Permit; and findings required by Sec. 5.4.1 Steep Slopes regarding hillside mitigation measures; I move to **recommend approval** to the Town Council of a Hillside Conditional Use Permit for the property located at 1140 W. Highway 22, subject to the department reviews attached hereto and the following conditions:

1. A landscape plan prepared by a Wyoming licensed Landscape Architect shall be provided at the time of DRC review. The landscape plan shall not only comply with the zone specific standards, but also adequately screen the parking and soften the building from the highway.
2. The Hillside CUP shall expire in 2 years from the date of approval unless a Building Permit is submitted.

A motion was made by: Thomas Smits seconded by: Anne Schuler
Motion approved by a _5_ to _0_ vote

OLD BUSINESS: None

MATTERS FROM COMMISSION: None

AGENDA FOLLOWUP: None

MATTERS FROM STAFF:

- Digital Planning Commission Packets
- Summary of ongoing Planning projects

ADJOURN:

A motion was made by: Anne Schuler seconded by: William Gale
Motion approved by a _5_ to _0_ vote

**MINUTES
PLANNING AND ZONING COMMISSION
TOWN OF JACKSON, WYOMING
MARCH 4, 2020**

The meeting of the Planning and Zoning Commission was called to order at 5:30 p.m. on 3/04/2020, in the Town Hall Council Chambers.

ROLL CALL:

☒ Anne Schuler, ☒ David Vandenberg, ☒ Katie Wilson, ☒ Abby Petri, ☒ William Gale,
☒ Thomas Smits

STAFF: Tyler Sinclair, Tyler Valentine, Paul Anthony

MATTERS FROM THE PUBLIC: None

APPROVAL OF MINUTES: None

n/a

NEW BUSINESS:

PLANNING COMMITTEE

1. **ITEM P19-187:** AMENDMENT TO THE TEXT OF THE LAND DEVELOPMENT REGULATIONS, PURSUANT TO SECTION 8.7.1, LDR TEXT AMENDMENTS, TO REVISE PORTIONS OF DIVISION 8.1 DUTIES AND RESPONSIBILITIES AND OTHER RELATED SECTIONS TO UPDATE SECTION 8.10.1 PLANNING DIRECTOR AND TO ADD THE POSITION OF COMMUNITY DEVELOPMENT DIRECTOR WITH RELATED DUTIES AND RESPONSIBILITIES.

STAFF PRESENTATION: Tyler Sinclair

APPLICANT PRESENTATION: Tyler Sinclair

PUBLIC COMMENT: None

PC DISCUSSION: None

MOTION:

Based upon the findings pursuant to Section 8.7.1.C for an amendment to the text of the Land Development Regulations, as presented by the applicant and by the Commission for Item P19-187, the application: 1) Is consistent with the purposes and organization of the LDRs; 2) Improves the consistency of the LDRs with other provisions of the LDRs; 3) Provides flexibility for landowners within standards that clearly define desired character; 4) Is necessary to address changing conditions, public necessity, and/or state or federal legislation; 5) Improves implementation of the Comprehensive Plan; and 6) Is consistent with other adopted Town Ordinances, I move to recommend **approval** to the Town Council of the requested text amendments subject to this staff report and the departmental reviews attached hereto.

A motion was made by: William Gale seconded by: Thomas Smits
Motion approved by a 6 to 0 vote

- 2. ITEM P19-187: AMENDMENT TO THE TEXT OF THE LAND DEVELOPMENT REGULATIONS, PURSUANT TO SECTION 8.7.1, LDR TEXT AMENDMENTS, TO REVISE PORTIONS OF DIVISION 8.1 DUTIES AND RESPONSIBILITIES AND OTHER RELATED SECTIONS TO UPDATE SECTION 8.10.1 PLANNING DIRECTOR AND TO ADD THE POSITION OF COMMUNITY DEVELOPMENT DIRECTOR WITH RELATED DUTIES AND RESPONSIBILITIES.**

STAFF PRESENTATION: Tyler Valentine

APPLICANT PRESENTATION: Bill Collins

PUBLIC COMMENT:

Mark Oblack, Chip Nagle, Lucy Wong (Owner of market townhouse), Jim Woodmency (Owner on Pine Drive), Jim Wong (Owner of market townhouse), Susan Oramus (Owner of market townhouse), Jenny Bragg and Rajat (Owners of affordable dublex) said all affordable units are ok with public use of sidewalk.

PC DISCUSSION: None

MOTION:

Based upon the findings for a Development Plan as presented in the staff report related to 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact of public facilities & services; 4) Complies with Town Design Guidelines; 5) Compliance with LDRs & Town Ordinances; 6) Conformance with past permits & approvals as presented by the applicant and staff for Item P19-262, I move to recommend **approval** to the Town Council to amend a Development to allow the proposed modifications listed in the application related to exterior materials changes, the in-road heating element, and the trails plan, subject to the departmental reviews attached hereto and the following conditions of approval:

1. Prior to issuance of Certificate of Occupancy on the duplex at 140 & 142 Pine Glades Drive, the applicant shall apply for an addendum to the duplex building permits to revise all exterior elevations to reflect the approved materials and changes.
2. By no later than September 1, 2020, all trails and signage shall be installed and satisfactorily inspected. In addition, by no later than September 1, 2020 the applicant shall record public access easements for the approved trails to the satisfaction of the Planning Director, Pathways Director, and Town Attorney. Signage shall include a requirement for a dog leash requirement at all trail entrances and exists.
3. Prior to September 1, 2020, the applicant shall work with the Fire Department and Planning Department on an appropriate landscape screening plan for the first section of trail above the cul-de-sac that does not conflict with the Wildland Urban Interface code requirements.
4. The applicant shall satisfactorily address all concerns from the Pathways Director related to technical or engineering suggestions for the trails. Comments related to neighbor approval or unspecified ongoing concerns are not the responsibility of the applicant.
5. The applicant shall make all efforts to not disturb mature Spruce trees in the section of the trail below the cul-de-sac. Any necessary removal of trees will require new trees to be planted to ensure adequate screening is maintained. All new trees will require approval from the Fire Department and Planning Department.
6. The alternative trail route for Section #3 that goes above the duplex and hugs the parking area on Pines Glades Drive shall be the approved trail alignment. In addition, final screening by vegetation, fence or other means shall be reviewed and approved by the Planning Department and shall include consultation with the duplex owners.

A motion was made by: Abby Petri seconded by: Anne Schuler
Motion approved by a 6 to 0 vote

OLD BUSINESS: None

MATTERS FROM COMMISSION:

AGENDA FOLLOWUP:

MATTERS FROM STAFF: Conference schedule

ADJOURN: 6:54 pm

A motion was made by: William Gale seconded by: Anne Schuler
Motion approved by a 6 to 0 vote

**MINUTES
SPECIAL JIM MEETING
PLANNING AND ZONING COMMISSION
TOWN OF JACKSON, WYOMING
MARCH 23, 2020**

The meeting of the Planning and Zoning Commission was called to order at 6:00 p.m. on 3/23/2020, in the Town Hall Council Chambers.

ROLL CALL: Town of Jackson

☒ Anne Schuler, ☒ David Vandenberg, ☒ Katie Wilson, ☒ Abby Petri, ☐ Chris Beaulieu,
☐ William Gale, ☒ Thomas Smits

ROLL CALL: Teton County

☒ Karn Rockey, ☒ Susan Lurie, ☒ Glendon Esnard, ☐ Alex Muromcew, ☐ Kasy Mateosky

STAFF: Tyler Sinclair, Kristi Malone

MATTERS FROM THE PUBLIC: N/A

APPROVAL OF MINUTES: N/A

OLD BUSINESS: N/A

PLANNING COMMISSION

- 1. ITEM P19-020:** 2020 ANNUAL INDICATOR REPORT AND FISCAL YEAR 2021 IMPLEMENTATION WORK PLAN

STAFF PRESENTATION: Kristi Malone

APPLICANT PRESENTATION: Kristi Malone

PUBLIC COMMENT: N/A

PC DISCUSSION:

- Discussed having additional ways to measure inequality in our community in the future because, at this point we only use financial measures.

- If zoning changes then, the number of houses built could change. Can we include this possible change into our tracking?
- Are we discussing how we track ecosystem stewardship? We need more data points.
- The additional residential units included in the report have all received a C of O.
- Is there a link between the decrease in hospitality and restaurant/bar and the housing mitigation that was instated in 2018? We cannot make a coloration yet. In order to evaluate the connection we would need a different lens to utilize our growth data to analyze how the mitigation effects uses.
- The comp plan has a give and take relationship between housing the workforce and environmental stewardship. Location and unit type are also very challenging.
- What drove the growth in 2017 and 2018? More people are driving year round and now we have more people here throughout the year.
- Do we track the number of full-time vs. part-time residence? Yes, and we are looking to improve our data.
- How will the coronavirus impact society long-term? Work from home has dramatically changed traffic patterns.
- Do we have any data on non-brick and mortar businesses? How are we tracing increases in employees? These questions are important because jobs are increasing but space for jobs is not increasing.
- Do we monitor our air quality? We don't measure the air quality locally. The state monitors air quality. That could be included in the list of indicators for years to come.
- Do we track noise pollution and water quality? What partners do we need to include in the future?

MOTION:

Town Planning Commission: I move that the Town of Jackson Planning Commission continue this item to the April 27, 2020 joint Planning Commission meeting where a recommendation on the Fiscal Year 2021 Implementation Work Plan will be made.

A motion was made by: Anne Schuler seconded by: Abby Petri
Motion approved by a 5 to 0 vote

County Planning Commission: I move that the Teton County Planning Commission continue this item to the April 27, 2020 joint Planning Commission meeting where a recommendation on the Fiscal Year 2021 Implementation Work Plan will be made.

A motion was made by: Karn Rockey seconded by: Susan Lurie
Motion approved by a 3 to 0 vote

NEW BUSINESS: N/A

MATTERS FROM COMMISSION: N/A

AGENDA FOLLOWUP: N/A

MATTERS FROM STAFF: N/A

ADJOURN: Town of Jackson

A motion was made by: Anne Schuler seconded by: Thomas Smits
Motion approved by a 5 to 0 vote

ADJOURN: County

A motion was made by: Karn Rockey seconded by: Glendon Esnard
Motion approved by a 3 to 0 vote



TOWN OF JACKSON PLANNING COMMISSION AGENDA DOCUMENTATION

PREPARATION DATE: MARCH 27, 2020
MEETING DATE: APRIL 1, 2020

SUBMITTING DEPARTMENT: PLANNING
DEPARTMENT DIRECTOR: PAUL ANTHONY
PRESENTER: TYLER VALENTINE

SUBJECT: **ITEM P20-009 & 010:** DEVELOPMENT PLAN & HILLSIDE CONDITIONAL USE PERMIT (CUP) FOR A FUTURE 5-LOT SUBDIVISION AT 984 BUDGE DRIVE.

APPLICANT: JORGENSEN ASSOCIATES – BRENDAN SCHULTE

OWNER: BLUFFS DEVELOPMENT GROUP, LLC

REQUESTED ACTION

The applicant is requesting approval of a Development Plan and Hillside Conditional Use Permit (CUP) for a future 5-lot subdivision of a 1.47 acre lot at 984 Budge Drive located in the Neighborhood Low Density – 5 (NL-5) zoning district. These applications are required prior to submitting a subdivision plat.

Staff is requesting that these items be continued to the next regularly scheduled Planning Commission meeting on April 15, 2020.

SUGGESTED MOTIONS

I move to **continue** these items to the Planning Commission meeting scheduled for April 15, 2020.



TOWN OF JACKSON PLANNING COMMISSION AGENDA DOCUMENTATION

PREPARATION DATE: MARCH 27, 2020

SUBMITTING DEPARTMENT: PLANNING

MEETING DATE: APRIL 1, 2020

DEPARTMENT DIRECTOR: PAUL ANTHONY

PRESENTER: BRENDAN CONBOY

SUBJECT: **ITEM P20-025:** DEVELOPMENT PLAN TO DEVELOP AN 8-UNIT APARTMENT BUILDING AT 445 VINE STREET

APPLICANT: KEN RIZOTTI – HR28 LLC

STATEMENT/PURPOSE

The applicant is requesting approval of a Development Plan for an 8-unit apartment building of residential units for the property located at 445 Vine Street. Upon Building Permit approval the applicant intends to apply for a Townhouse/Condominium Subdivision Plat.

APPLICABLE REGULATIONS

Section 8.3.2 Development Plan

LOCATION

The property is located at 445 Vine Street, legally known as LOT 1, BLK. 3, MEADOWLAND. An aerial photo and zoning map are shown below:



BACKGROUND/ALTERNATIVES

The applicant's property is a 0.19 acre parcel (8,276 sf) with frontage on Vine Street and access from the alley located between East Kelly Avenue and East Karns Avenue. It is zoned Neighborhood Medium Density – 2 (NM-2) and currently contains a mobile home unit. The property is surrounded by NM-2 zoning to the north, south, and west. Across Vine Street to the east are Snow King Mountain Resort properties zoned Planned Resort – Snow King (PR-SK).

- The property previously contained an 820 sf home that was demolished in 2017 following a fire.
- The applicant held a Pre-Application meeting for the Development Plan on December 5, 2019.
- The applicant appeared before the Design Review Committee on January 8, 2020 and received a recommendation of approval from the DRC to the Planning Director without conditions.

PROJECT DESCRIPTION

The applicant intends to build an 8 unit, two-story apartment building with six (6) 447/448 sf one-bedroom units, and two (2) 898 sf two-bedroom units. The applicant intends to utilize the Workforce Housing Floor Area Bonus, commonly referred to as the 2:1 Bonus (Sec. 7.8.4), to add an additional 1,344 sf of floor area (3 units) beyond the base FAR limit of 3,247.4 sf. Per the Workforce Housing Floor Area Bonus rules, one of these units will have a workforce housing deed restriction while the other two will be market units. The proposed building will contain a total of 6,724 sf of gross floor area with 4,484 sf of above ground habitable floor area and 2,240 sf of unfinished basement for tenant storage space. Vehicular access to the building is taken from the alley with surface parking abutting the alley.

STAFF ANALYSIS

Development Plan Review

The purpose of a Development Plan is to review a physical development or development option that is large and complex enough to benefit from a public review at a sufficient level of detail to determine compliance with these LDRs prior to preparation of final construction or plat documents. This project requires a Development Plan because the threshold for a Development Plan in the NM-2 zone is any development between 5-15 units. Staff finds that the information submitted by the applicant to be appropriate for reviewing the proposed development.

Conformance with the Comprehensive Plan

This site is located in Character District 3: Town Residential Core, Subarea 3.2: Core Residential. This is a *Transitional* area intended for redevelopment with predominantly 2-story (and some 3-story) single family and multifamily residential buildings. Due to its central location in the core of Town near employment and Complete Neighborhood amenities, the future character of this subarea will include some increased density and larger buildings compared to existing development. Multifamily structures will be predominantly found on larger residential lots and along mixed use corridors. The density and intensity found in areas containing multifamily structures may be greater than what is generally allowable in other areas. Parking should be minimized and screened from view as much as possible. Staff finds that the project is consistent with these goals but please see the section on Findings for Development Plans for staff's more detailed analysis on the project's conformance with the Comprehensive Plan.

Conformance with Other Applicable Regulations

Staff finds that the applicant complies with the dimensional standards in the NM-2 zone as shown in the table below and discussed further in this section.

	NM-2	Proposed	Complies?
FAR	0.4 base max (3247.4 sf) + 2:1 Workforce Bonus: Determined by proposal	0.38 base (3138.0 sf) + 2:1 Workforce Bonus: (1,344 sf)	Yes
LSR	.21 (1,738 sf) 70% within front 1/3 rd of lot	.28 (2,390 sf) >70% within 1/3 rd in front of lot	Yes
Plant Units	1/1000 sf of landscape area 1 per 12 parking spaces	1,738 SF = 1.74 plant units 10 parking spaces = 1 plant unit 3 plant units total	Yes
Minimum Lot Size	7,500 sf	8,276 sf	Yes
Height	35' ($\leq$ 3:12 roof pitch) 37' (4:12, 5:12) 39' ($\geq$ 6:12 roof pitch)	27' ($<$ 3:12 roof pitch)	Yes
Density	8 units max per apartment building	8 units	Yes
Parking	1/DU if $<$ 2 bedrooms and $<$ 500 sf; otherwise, 1.5/DU	(6) 1br units $<$ 500 sf: 6 spaces (2) 2br units $>$ 500 sf: 3 spaces 10 spaces proposed	Yes
Primary Street Setback (Vine)	20'	20'	Yes
Secondary Street Setback (Alley)	10'	25'-3"	Yes
Side Setback (south)	10'	10'	Yes
Side Setback (west)	10'	10'	Yes

Landscaping

There is a .21 Landscape Surface Ratio (LSR) requirement in the NM-2 zone. Additionally, multifamily development is required to provide 70% of the necessary landscaping within the front 1/3rd of the lot. The applicant has met this requirement by providing 1,574 sf of landscaped area within the front third of the lot where 1,158 sf minimum is required. The applicant's narrative refers to the courtyard landscape area in the front of the development as 'public space', however the applicant has clarified in a written statement attached to this report that this is a mistake and that the landscaped area will not be open to the public and is instead intended solely for the benefit of the residents of the development. Comments in the Legal Department's departmental review regarding an easement over this portion of the site for the benefit of the public are not applicable in light of this clarification.

The applicant proposes 3 plant units, with the majority of plantings located in front of the building adjacent to Vine Street. Staff finds that the proposed plantings may help shield the surface parking located off the alley from Vine Street. Proposed plantings for the 3 plant unit requirement includes Colorado Spruce, Patmore Ash, and Quaking Aspen trees, as well as Maple, Serviceberry, Chokecherry, and Lilac shrubs.

Site Design

The proposed site plan is consistent with the goals of the NM-2 zone by providing medium density residential development promoting workforce housing with surface parking accessed from an alley. Street trees and planter boxes will further improve the street experience for residents and passersby.

Vehicular and Pedestrian Access/ Circulation/ Traffic

Vehicular access to the project will be provided by the existing east-west alley on the north side of the site. Tenants will park directly off the alley and back out onto the alley. The applicant has provided an ADA compatible disability space as well as 1 additional overflow or guest parking space.

The applicant has shown a sidewalk as part of their site plan, however the Planning Director has determined that a sidewalk is not required at this point in time due to the uncertain nature of future sidewalk improvements along Vine Street and right-of-way constraints imposed by neighboring properties to the north which could limit pedestrian connections. In lieu of building a sidewalk, staff has added a condition of approval that requires the applicant to bond for 125% of the cost of a sidewalk on the property until such time that the Town finalizes plans for pedestrian sidewalk improvements along Vine Street.

While the LDRs do not require a traffic impact analysis for this project (or any project unless it is associated with a Conditional Use or is located on a State Highway), the applicant has provided a trip generation report. The analysis concludes that the change from a single-family detached residential unit on site to an apartment use will increase A.M peak hour trip generation from 2 to 6 trips, and P.M. peak hour trip generation from 3 to 7 trips.

Trash Enclosures/ Snow Storage

The applicant has indicated the general location of a trash and recycling enclosure on the plans, however all dimensions and setbacks will be assessed at the time of Building Permit submittal. The applicant has demonstrated the location for snow storage on the plans (on the northwest portion of the site adjacent to parking) which meet the 2.5% of site area requirement. While this area is landscaped, it consists solely of turf grass and no trees or shrubs are proposed within this snow storage area.

Affordable Workforce Housing

Sec. 6.3.2.A.1 in the LDRs allows properties to get an affordable housing credit for any uses on the site established from December 19, 1995 to the present. Essentially, whichever uses generate the highest mitigation requirement during this period create a credit of equal value that can be used to offset the housing requirement of new development or redevelopment on the same site. Mobile homes are exempt from affordable workforce housing mitigation, however the property does have credit for the 820 sf detached single family home that used to be on the property which is deducted from the requirement for the new development.

The below table provides a summary of the affordable housing mitigation plan. Additional detail is provided after the table.

Affordable Housing Mitigation Summary

Mitigation Requirement (Base 0.4 FAR)	Mitigation Requirement (2:1 Workforce FAR Bonus)
<i>Proposed: 3,140 sf</i> - Three (3) 1br units - 448 sf ea. - Two (2) 2br units – 898 sf Credit: 820 sf detached single family home Requirement: 0.084 deed-restricted units Fee-in-lieu amount: \$17,452.91 Complies. Affordable Housing Mitigation fee-in-lieu will be due prior to issuance of Building Permit	<i>Proposed: 1,346 sf</i> - Two (2) 1br units - 448 sf of Market housing - One (1) 1br unit - 448 sf of Workforce Deed Restricted housing Requirement @ 2:1 = 896 sf (Market) : 448 sf (Workforce) Complies.

In addition to the base FAR, applicants in the NM-2 zone have the option to increase residential development potential by using the Workforce Housing FAR Bonus in Section 7.8.4. In summary, this bonus allows developers to add 2 sf of market residential floor area to a project for every 1 sf of deed-restricted workforce housing they provide. The deed-restriction required for this option is a Workforce ownership or rental restriction that has no income limits or initial sales price caps (see below summary for major terms of this deed restriction).

Any bonus floor area allowed by the bonus tool must comply with all regular zoning requirements for setbacks, height, parking, etc. — i.e., all bonus floor area must fit in the “box” defined by the zone’s dimensional standards without the need for variances or administrative adjustments. The purpose of the 2:1 tool is to encourage the market to build deed-restricted workforce housing in desired locations without any taxpayer subsidy. All workforce units will be required to meet the Housing Department’s livability standards (e.g., storage, outdoor space, etc.).

The applicant will be required to record a Workforce Ownership deed restriction prior to Certificate of Occupancy for the units. Below is a summary of the primary terms of the Workforce Ownership deed restriction:

- Initial sales price:* Set by owner with no restrictions
- Subsequent sales price:* Limited to 2.5% annual appreciation
- Income restriction:* None
- Ownership of real estate:* Not within 150 miles of Teton County
- Employment:* Average of 30 hrs/wk and 75% of income from local business
- Occupancy requirement:* 10 month / year minimum

Development Exactions

The applicant intends to subdivide the property at a later date as a Condominium/Townhouse Plat. The proposed project includes 8 units. Each unit, therefore, will generate demand for schools and parks that must be mitigated according to Division 7.5: Development Exactions Standards. Staff has calculated the requirement for (6) one-bedroom units and (2) two-bedroom units in the amount of \$13,500 for park

exactions and \$12,000 for school exactions. The final school and park exactions will be due at the time of subdivision plat approval.

STAFF FINDINGS

Development Plan. All Development Plan proposals may be approved only if all of the following findings are made:

1. *The proposed project is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.*

This site is located Character District 3: Town Residential Core, Subarea 3.2: Core Residential of the 2012 Comprehensive Plan. The following is the vision for Subarea 3.2:

Sub-area 3.2 Core Residential: This residential, TRANSITIONAL Subarea is currently made up of a variety of single family and multifamily residential types, with some existing larger residential developments and non-conforming commercial uses. Redevelopment, revitalization and reinvestment are highly desired in this subarea. Due to its central location in the core of Town near employment and Complete Neighborhood amenities, the future character of this subarea will include some increased density and larger buildings than in East Jackson (Subarea 3.1).

In addition, to the development pattern described for East Jackson (Subarea 3.1), multifamily residential uses will be encouraged in order to replace existing commercial uses and to blend the borders of the Town Commercial Core (District 2) with the Town Residential Core (District 3). Multifamily structures will be predominantly found on larger residential lots and along mixed use corridors. The size and scale of multifamily structures will be predominantly two stories with three stories considered in specific cases with proper design. The density and intensity found in areas containing multifamily structures may be greater than what is generally allowable in other areas. For these larger structures, the dominant building mass should be located near the street and be broken into multiple smaller buildings when possible. Parking should be minimized and screened from view as much as possible. In areas where office uses currently exist, consideration should be given to allow a mix of office and residential uses. Future mixed use office development should be of the same bulk, scale and intensity of the residential uses.

Complies. The proposed project meets the general purpose and goals of Subarea 3.2. as the density and scale are appropriate for this location. In addition, the DRC has reviewed this project and approved it for Development Plan with positive comments regarding the site design, landscape courtyard, and architectural style. Finally, the applicant's use of the 2:1 Workforce Bonus meets the Comprehensive Plan's goals of creating deed-restricted workforce housing in locations close to jobs, services, and transit.

In addition, Staff has analyzed this application for consistency with the Policy Objectives of Character District 3: Town Residential Core as follows:

Common Value 1: Ecosystem Stewardship

Not applicable.

Common Value 2: Growth Management

Policy 4.1.b Emphasize a variety of housing types, including deed-restricted housing.

Complies. The resulting apartment units are identified as a desired type of housing according the Subarea 3.2 description. In addition, the project will result in one Workforce deed-restricted unit.

Policy 4.3.a Preserve and enhance stable subareas.

Not applicable. Subarea 3.2 is a transitional subarea.

Policy 4.3.b Create and develop transitional subareas.

Complies. The proposed development meets the intent and desired characteristics for multifamily residential development in this transitional subarea.

Policy 4.4.d Enhance natural features in the built environment.

Complies. Staff finds the Development Plan proposes improvements that enhance the built environment and provide additional landscaping along the streetscape which make the Vine streetscape more aesthetically pleasing.

Common Value 3: Quality of Life

Policy 5.2.d Encourage deed-restricted rental units.

Complies. Staff finds that this development will be subject to affordable and workforce housing fees. In addition, this project will result in one Workforce deed restricted unit as a result of the 2:1 Bonus floor area.

Policy 5.3.b Preserve existing workforce housing stock.

Not applicable. The existing mobile home is being removed but will be replaced with 8 residential units.

Policy 7.1.c Increase the capacity for use of alternative transportation needs.

Complies. The proposal will add density near START bus stops.

2. ***Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.***

Not applicable.

3. ***Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.***

Complies. The development will be subject to mitigation of park and school impacts through payment of exactions at the ratio required in the LDRs for residential development at the time of Subdivision Plat recordation. Staff finds that an 8-unit subdivision will not have a significant impact on other

public facilities and services as the development does not expand the anticipated growth within the NM-2 zone based upon allowable lot size and density.

4. ***Complies with the Town of Jackson Design Guidelines, if applicable.***

Complies. The applicant appeared before the DRC and received a recommendation of approval to the Planning Director without any additional conditions.

5. ***Complies with all relevant standards of these LDRs and other Town Ordinances.***

Complies. Staff finds that the Development Plan proposal is in compliance with all relevant LDR standards.

6. ***Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.***

Not applicable.

[PUBLIC COMMENT](#)

The Planning Department has received a series of comment letters with various concerns about the number of units, parking, noise, and impact to the existing neighborhood character. The Planning Department has also received a series of letters in support of the project from members of the community. The letters are attached to this staff report.

[LEGAL REVIEW](#)

Ongoing as required.

[ATTACHMENTS](#)

Applicant Submittal
Clarification from Applicant on Courtyard Space
Housing Mitigation Plan Calculations by Staff
Revised Floor Plan Calculations for 2:1 Housing Allocation
Departmental Reviews
Public Comment Letters

[RECOMMENDATIONS/ CONDITIONS OF APPROVAL](#)

The Planning Director recommends **approval** of a Development Plan (P20-025) for an 8-unit residential building for the property located at 445 Vine Street, subject to the department reviews and the following condition of approval:

1. The applicant shall provide a bond in the amount of 125% of the estimated cost of sidewalk improvements on the property.

SUGGESTED MOTIONS

Based upon the findings as presented in the staff report and made by the applicant for a **Development Plan** (Item P20-025), I move to make findings 1-6 in Section 8.3.2.C of the Land Development Regulations related to 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact of public facilities & services; 4) Complies with Town Design Guidelines; 5) Compliance with relevant LDRs & Town Ordinances; 6) Conformance with past permits & approvals, and to **recommend approval** to the Town Council of a Development Plan for an 8-unit residential building for the property located at 445 Vine Street, legally known as LOT 1, BLK. 3, MEADOWLAND, subject to the departmental reviews as provided in the staff report dated March 13, 2020, and the following condition of approval:

1. The applicant shall provide a bond in the amount of 125% of the estimated cost of sidewalk improvements on the property.



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Corner of Vine
Physical Address: 445 Vine St, Jackson, WY 83001
Lot, Subdivision: Lot 1, BLK 3, Meadowland PIDN: 22-41-16-34-2-33-001

PROPERTY OWNER.

Name: Vine 45, LLC (Jamie Farmer, Manager) Phone: _____
Mailing Address: PO Box 1325, Jackson, WY 83001 ZIP: _____
E-mail: _____

APPLICANT/AGENT.

Name: Kenneth Rizzotti, HR28 LLC Phone: 307-413-2294
Mailing Address: PO Box 1630, Wilson, WY ZIP: 83014
E-mail: krizzotti@gmail.com

DESIGNATED PRIMARY CONTACT.

_____ Property Owner ☒ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit	Physical Development	Interpretations
_____ Basic Use	_____ Sketch Plan	_____ Formal Interpretation
_____ Conditional Use	☒ Development Plan	_____ Zoning Compliance Verification
_____ Special Use	_____ Design Review	Amendments to the LDRs
Relief from the LDRs	Subdivision/Development Option	_____ LDR Text Amendment
_____ Administrative Adjustment	_____ Subdivision Plat	_____ Map Amendment
_____ Variance	_____ Boundary Adjustment (replat)	Miscellaneous
_____ Beneficial Use Determination	_____ Boundary Adjustment (no plat)	_____ Other: _____
_____ Appeal of an Admin. Decision	_____ Development Option Plan	_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P19-259 Environmental Analysis #: N/A
Original Permit #: N/A Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- X **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- X **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- X **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Ken Rizzotti
Signature of Property Owner or Authorized Applicant/Agent
Kenneth Rizzotti
Name Printed

2/10/2020
Date
Manager HR28 LLC
Title

Corner of Vine

TOWN OF JACKSON DEVELOPMENT PLAN

FEBRUARY 07, 2020



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Concept Statement

The Corner of Vine project at 445 Vine Street is a proposal for the design and development of an 8 unit, two-story condominium project, with an unfinished basement for unit storage and mechanical space. Currently, the site holds an aging mobile home on a mostly open lot with unnatural berms where dirt and various unused automobile parts have been dumped. The building design will put emphasis on clean lines and simplistic building form. The building will present in natural materials, finished in natural colors (wood and metal siding), pursuing the commonly defined "mountain modern" aesthetic. This design will allow the building to blend with the structures common in the area and the remainder of the Town of Jackson. Supplementary to the architecture, strong consideration will be given to the location of additional planting which will "soften" the building's physical and visual presence. Each unit will have a private balcony or patio. All parking will be open parking along the alley with an emphasis on screening from Vine St.

Workforce housing has historically been a very challenging proposition in the Town of Jackson. The county goal according to the "Jackson/Teton County Workforce Housing Action Plan Executive Summary, November 2015" is to ensure that at least 65% of the workforce live locally. Due to this, the development team has prioritized high quality residences both at market and as deed restricted use.

Development Plan Findings for Approval

1. Jackson Comprehensive Plan: The Jackson Comprehensive Plan specifically highlights a need for responsible growth management as well as local work force housing. The site for the project was chosen in the NM-2 zone in order to fulfill the purpose of providing higher density housing to this zone. These NM-2 zones have been designated as areas of higher density housing to meet the comprehensive plan goals of allowing the Town of Jackson to remain the Heart of the Region. As part of the responsible growth management, this site is outside of the Natural and Scenic Resource Overlays and is engrained in a decidedly urban context, surrounded by roads, residences, storage buildings, offices, and sites of ongoing construction. The proposed development is within the maximum allowable number of units and is directly adjacent to an existing project of a similar program to the South. The project aims to create an elevated off street "mini" park area for both residents and passing pedestrians. In addition to meeting the goal of responsible growth outside of habitats, scenery, and open areas, this project aims to fill the growing void of what can be deemed affordable housing for the local workforce of Jackson. The units proposed here will offer those working in Jackson the opportunity to purchase entry level property at a high level of quality which is very unique to our town today.
2. This site is not in the NRO or SRO.
3. Refer to the Engineering Report for an analysis of this project's impact on public facilities and services.
4. This project follows the Town of Jackson Design Guidelines and has been recommended for approval by the DRC. See the Design Guideline Narrative below.
5. This project follows all standards of the applicable LDRs and Town Ordinances as illustrated in the attached drawings.
6. This project has met all prior approvals required before Development Plan Submission.

Design Guideline Narrative, recommended for approval by the Town of Jackson DRC

A. Public Space

Use: The proposed development will offer an enhanced pedestrian experience along Vine St. A new sidewalk with street trees will create an overhead canopy under which tenants and public can travel. Among the trees will be planters and underlit benches that utilize the unique geometry of the property to create a new outdoor space along Vine St. Each tenant space will have a private balcony and patio which will facilitate the engagement of the interior of the building with the exterior. These balconies will also serve as design elements to break up and provide additional rhythm to the building façade.

Location: Public space is located on the East side of the building where it is out of the shadow of surrounding buildings and is able to take advantage of southern sun exposure through the tree canopy. Adjacency of this space to Vine St provides a subtle, logical, and engaging buffer between private residences and the public street.

Connections: Entry to the private residences will be on a direct, yet buffered, path from the new Vine St sidewalk. Phil Baux Park, Snow King Mountain Resort and a Start Bus Stop are located 2 blocks to the south, and Mike Yokel Park is located with another Start Bus Stop is 4 blocks to the northeast. The project team has considered the development's proximity to the pedestrian system of the town of Jackson and has put emphasis on its connection to the immediate surroundings.

Scale + Variety: The public space proposed is appropriate for the scale of the development. The space responds to the scale and the size of the immediately adjacent buildings and their respective outdoor spaces.

Screening: New street trees will provide screening of the proposed building and parking areas. Layering of planters and benches will provide additional separation between the public and private spaces, as well as define an eased transition from ground to building.

B. Composition

Composition, Proportion + Rhythm: Purposeful transitions of material on the exterior facades create rhythm at visual interest at the building footprint. Balconies extending from these facades provide additional 3-dimensional layering as well as a means to break up the length and height of the façades. At the North elevation, the balcony extends 2' further to provide additional cover for automobile parking and to make the distinction between building and parking less harsh. Building and balcony heights provide appropriate scale for pedestrian friendly travel.

Entry and Sense of Place: The set back and proposed public space at Vine St offer a sense of procession from Vine St to the covered entries on the lower level. An ornamental stair to the upper level lives along this procession and is covered from above by the tectonic, exposed rafter, roof overhang.

Adjacent Buildings: Surrounding buildings on Vine St, Kelly Ave, and Karns Ave are two-story structures. The proposed development recognizes and responds to its surroundings as a two-story building. Directly similar in height and scale to the surrounding homes and apartment buildings.

C. Massing

Mass + Height: The proposed building mass and height are similar to the adjoined buildings. The development team elected to design a two-story building rather than a three-story building to better relate with its surrounds and to not overwhelm the building's neighbors. Landscaping, balconies, and canopies provide human scale elements to break up the building's façade and facilitate pedestrian use.

Additive + Subtractive Massing: While the building footprint is designed to be rectangular in order to adhere to the proposed off-site fabrication process, the apparent building mass is extended by exterior balconies which jog in and out along the building's façade. Material layering and transitions create visual interest while reducing the perceived scale of the building.

Volume Complexity: Volume complexity is achieved with balconies, overhangs and material transitions as outlined above. The proposed structure is similar in scale to its surrounding and on a respectively smaller lot, therefore reducing the building footprint was not satisfactory to its intended use. Therefore, the design took the approach of building the volume out over the building envelope and into the pedestrian setbacks as allowed by the Town of Jackson LDRs.

Roofs: The building will have a shed roof with a snow retention system.

D. Street Wall

As the proposed building is at a corner, the design team has chosen to step back the face of the building to the more regular geometry of the site in order to create a public space along Vine St. This creates a more regular building footprint, in line with the surrounding architecture.

E. Materials

Application of Materials: The chosen material palette is purposed to define certain building elements while providing a sense of layering and rhythm. Materials transition at openings, displaying a purposeful, well considered design. Outside of the building envelope, structural elements are rendered in the same dark color as the window frames thus further defining a conscious material that breaks the building façade.

Material Selection: The proposed exterior materials are natural cedar siding, bonderized steel paneling, and black painted or powder coated metal. All three materials compose a natural and wear resistant palette which is seen commonly in the Town of Jackson as well as Teton County.

Housing Mitigation Plan

updated 6/11/19

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates.

These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)**Step 1: Location**

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Mobile Home	exempt		700	1	0.000

Existing Workforce Housing Credit 0.000

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$		448	5	0.065
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * \ln(sf))) / 2.176$		898	1	0.031
Workforce Housing Unit	exempt		898	1	0.000
Workforce Housing Unit	exempt		448	1	0.000

Affordable Workforce Housing Required: 0.096 units

Fee-in-Lieu Amount: \$ 20,004.32

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

CORNER OF VINE PROJECT DEVELOPMENT PLAN SUBMITTAL ENGINEERING REPORT

Prepared by:



**Project: 20-001-01
February 2020**

ENGINEERING REPORT

Introduction

This engineering report provides the basis for design and addresses the engineering related issues for the proposed construction of a 6,720 plus square foot structure and the removal of one existing structure, a single wide trailer. 4,480 square feet of the proposed structure will be habitable spaces on the first and second floors. The basement will be 2,240 square feet of storage and mechanical area. The new structure will contain a mix of single and double bedroom apartments. The proposed building will contain six single bed units and two double bed units. The location of the proposed structure will be centered on the lot and will cover the area where the previous structure stood. The site is completely developed with one housing structure and a yard area / vehicle storage area. There are several existing buried utilities serving the property. Water and sanitary sewer facilities are provided to the property through Town of Jackson (TOJ) Systems. The level of detail includes the basic layout and general design elements. Design detail will advance as the plan moves into the construction permitting and construction phases of the project.

Soils and Groundwater Conditions

No geotechnical investigation or groundwater monitoring has been performed on the site.

Access and Parking

Access to the site will be provided from the alley between E. Kelly Ave and E. Karns Ave. The main entrances to the first story will be on the North side of the structure. A stair to access the second story units will be on the east side of the proposed structure. At this time there are no existing curbs along Vine Street or Alley way in the project area. Access will be adequately marked throughout the development. Parking for the development will occur within the site as indicated on the site plan. A total of 10 spaces will be provided. One parking spaces will be ADA compliant along with ADA access to the structure. Each single bed unit is less than 500 sf and thus requires 1 parking spaces for a total of six spaces. Each double bed unit requires 1.5 parking spaces for a total of 3 parking spaces. This comes to a required total of 9 spots with 10 provided.

The street frontage along Vine Street and the alley between E. Kelly Ave and E. Karns Ave will comply with the Town of Jackson LDR's. As stipulated a sidewalk will be installed along Vine Street, this side walk will meet Town of Jackson specifications. A traffic impact statement is included in the Appendix comparing the existing trip generations from the site to a proposed future amount. As stated in that report it is assumed the project will generate some additional trips to and from the site but this increase is fairly minimal.

Grading, Drainage, and Stormwater Management

Grading of the site will not alter the grades along Vine Street or the Alley way. Grades of the new curb and gutter will match the existing asphalt paving. Development of the site will leave 2050 SF of

pervious surface. Storm water will be collected on the roofs and walkways of the development and conveyed to storm water detention on site. All retainage will occur within the development. The limited area which is not to be covered with a structure, driveways or walkways will be graded with drains installed to convey runoff to the collection system. While the grading hasn't been finalized detention swales will be placed to the south and east of the proposed apartment building.

All existing stormwater runoff from the site either remains on site or sheet flows onto neighboring parcels and TOJ roadways. Based on TOJ regulations the proposed development is required to detain any additional runoff above and beyond the existing conditions. Preliminary stormwater calculations were performed and are included in the Appendix. Storm water will be collected on the roof of the new structure and various locations on the site and conveyed to on site storage and TOJ right of ways. Based on TOJ regulations which require the retention of any additional stormwater generated in the 100-yr storm event, as indicated in the calculations, a total of 52 cubic feet of storage would be required. This can easily be accommodated at various locations on the site. The calculations included in the Appendix along with grading and stormwater management plans will be refined through the Grading and Erosion Control Permit process as the project develops.

Water System

The site is currently supplied water from a one location connecting to TOJ water mains. At this time there are one separate water meter measuring water use to the site. There is currently an 8-inch water main in Vine Street.

To verify the existing water facilities are sized adequately, proposed water flows, both domestic and fire were estimated for the development. Current proposed programming values for the development were utilized for the estimates. Assumptions on use based on the proposed programming of the development are included in the Appendix along with flow projection calculations. Water demands were calculated using the AWWA M22 method and estimated to be 121 gpm based on the estimated fixture unit counts for the development. Based on water system modeling it is expected that adequate capacity is available from the Town's water system.

Due to the size and proposed use of the development, the structures will require automatic fire sprinkler systems. Fire flow requirements were calculated utilizing NFPA 13R, along with the proposed programming of the facility. Fire sprinkler flow requirements for the development sprinkler system are estimated to be 315 gpm. Water modeling has shown the pressure in the service main at the building to be 51.2 psi during fire flow conditions. While the water system within the building hasn't been finalized residual pressures are expected to remain above 30 psi throughout the building during max fire flows. Fire hydrants are located in on the corner of Vine Street and E. Karns Avenue and on the Corner of E. Kelley Avenue and Vine Street.

To conform with NFPA 13R requirements the following stipulations will be met per discussions with Kathy Clay. All smoke alarms will be UL217 rated. Smoke alarms in the storage area will be tied into

the fire alarm system. Fire Alarm system will include horn and strobes within each unit. These will be programmed to sound upon water flow and / or smoke alarm triggered in the basement storage area. Attic space shall have UL217 alarms installed if there are ignition sources including electrical work with the spaces.

Using the projected fire flow demands to the structures, the water service supplying the new large structure will need to be a 4-inch pipe up to the building where it will enter the building as the fire suppression line. Exterior to the structure a 2 ½" potable service line will connect with a shutoff valve exterior to the structure. The 4-inch service line will connect to the existing 8-inch water line in Vine Street.

Sewer System

As can be noted from the existing site drawing located in the Appendix, there is one existing TOJ sewer service which serves the property. There is an existing sewer main along the north side of the property in the alley way and another following along the east side of the property in Vine Street.

To size the proposed piping, the same assumed development programming was utilized as with the water system. Because there is little irrigation demand on the subject property, it can be assumed the water and sewer demands will be close to equal. Assuming minimum pipe slopes, a 4-inch gravity pipe would be adequate to serve the new proposed. Due to the depth of the structure and sewer requirements in the basement of the new large structure, a collection system within the development will be required to convey flow from the basement area to the TOJ system so that all sewage will flow by gravity. Sewer flows from the first and second floors will flow by gravity to the collection point. Flows generated in the basement will require pumping to the collection point. From the collection point sewer flows will flow by gravity to the sewer main in the alley way. These plans will be refined as the project plans are refined. This collection system will consist of a small lift system in the basement. From there it will convey flow to the TOJ collection system as indicated on the drawings. It is proposed that an existing 4-inch sewer service serving the existing structure would be abandoned at the main. The proposed utility plan indicates the changes to the sanitary sewer system.

Wire Utilities and Gas

Power and communication facilities are readily available throughout the area and to this specific location. There are several overhead and buried power and communication facilities surrounding the development. The electric and dry utilities will be connected on the west side of the proposed structure. Continued coordination will be required with the project team and utility providers as the design develops.

Refuse, Garbage, Trash, and Recycling

Refuse, garbage, trash, and recycling will be kept in covered containers at all times. All containers will be kept within enclosed structures as indicated on the proposed site plan. The refuse collection enclosure will be fenced. The designated enclosure is proposed on the west side of the structure and

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is indicated in the plan set. The enclosure design has not been finalized, but is intended to match the metal cladding on the main building.

Snow Storage

Total uncovered area of parking and access drives as indicated on the site plan is approximately 1500 square feet. The TOJ requires that area on the site be reserved for snow storage at a rate of 2.5% of the parking area. This results in 37.5 square feet of required storage area. The proposed snow storage area is located in the NE corner of the property directly east of the parking lot.

STORMWATER RUNOFF CALC'S

445 VINE STREET

20-001-01
1-22-20
NB

PRE-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT^2)=	480	**50% of existing house roof area
C-VALUE =	0.9	
S =	30%	
L (ft) =	8	
tc (min) =	0.33	tc = 1.8(1.1 - C)L ^{.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE	170	**50% of existing driveway & patio areas
C-VALUE =	0.9	
S =	5%	
L (ft) =	10	
tc (min) =	0.67	tc = 1.8(1.1 - C)L ^{.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT^2)	7900	**south lot total area, minus above value	7900
C-VALUE =	0.3		
S =	2%		
L (ft) =	50		
tc (min) =	8.90	tc = 1.8(1.1 - C)L ^{.5} /S ^{0.3333} , (Corps of Eng. Eqn.)	

TOTAL SOUTH LOT AREA= 26166 SF

Total Time of Conc., Tc = 9.89 min (lawn, roof, & driveway)
Composite Cc = 0.35
Total Area, At = 8550 ft^2

TABLE 4920.B JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, Td (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Initial Flow Rate, Qi (cfs) = 0.16 cfs at tc= 12.11 min

$$Q_i = C_c * I * A_t / (43200)$$

where,

Composite Cc = 0.35
 Intensity, I = 2.34 in/hr at Td = 12.11 min
 Total Area, At = 8550 ft^2

STORMWATER RUNOFF CALC'S

445 VINE STREET

20-001-01
1-22-20
NB

POST-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT^2)	4260	total roof area of new building on south lot
C-VALUE =	0.9	
S =	8%	
L (ft) =	42.833	
tc (min) =	1.16	tc = 1.8(1.1 - C)L^.5/S^0.3333, (Corps of Eng. Eqn.)

DRIVEWAY & HARDSCAPE CALCULATIONS

DRIVEWAY & HARDSCAPE AREA (FT^2)	2240	2260+260+1067+184 (patios, and driveway)
C-VALUE =	0.9	
S =	5%	
L (ft) =	20	
tc (min) =	0.94	tc = 1.8(1.1 - C)L^.5/S^0.3333, (Corps of Eng. Eqn.)

LAWN CALCULATIONS

2050

LAWN AREA (FT^2)	2050	2050
C-VALUE =	0.3	
S =	5%	
L (ft) =	20	
tc (min) =	3.77	tc = 1.8(1.1 - C)L^.5/S^0.3333, (Corps of Eng. Eqn.)

TOTAL SOUTH LOT AREA= 26166 SF

Total Time of Conc., Tc = 5.87 min (roof, drive and lawn)
Composite Cc = 0.76
Total Area, At = 8550 ft^2

TABLE 4920.B

JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, Td (min)	INTENSITY, I (in/hr)
5	3
10	2.33
15	1.9
20	1.65
30	1.3
40	1.08
50	0.95
60	0.82
70	0.74
80	0.65
90	0.61
100	0.56
110	0.52
120	0.48

Final Flow Rate, Qf (cfs) = 0.40 cfs at tc = 14.73 min

$$Q_f = C_c * I * A_t / (43200)$$

where,

Composite Cc = 0.76
 Intensity, I = 2.69 in/hr at Td = 14.73 min
 Total Area, At = 8550 ft^2

STORMWATER RUNOFF CALC'S
445 VINE STREET

20-001-01
1-22-20
NB

Post and Pre-Development Diff = 0.24 cfs

EQUATIONS: $Q_d = C_c \cdot I \cdot A_t / (43200)$

$$V_d = (Q_d - Q_i) * ((Q_d - Q_i) / Q_f * T_d) * 60$$

Where,

Composite Cc =	0.76	
Intensity, I =	2.69	in/hr
Total Area, At =	8550	ft^2
Final Flow Rate, Qd (cfs) =	0.40	cfs at tc = 14.73 min
Initial Flow Rate, Qi (cfs) =	0.16	cfs at tc= 12.11 min
Duration, Td =	5.87	(min)

Storage Volume = 52 ft³
Dry Bottom Basins to be Utilized for Stormwater Detention

Design Storage Volume (twice calculated)	104	ft^3
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EXISTING A.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	ROOMS OR UNITS	A.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
DETACHED RESIDENTIAL UNIT	210	1000	3	0.75	2.3
TOTAL					2

SOURCE:

TRIP GENERATION RATES TAKEN FROM
INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

PROPOSED A.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	ROOMS OR UNITS	A.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
APARTMENTS	220	4840	10	0.51	5.1
TOTAL					6

SOURCE:

TRIP GENERATION RATES TAKEN FROM
INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

EXISTING P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	ROOMS OR UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
DETACHED RESIDENTIAL UNIT	210	1000	3	1.01	3.0
TOTAL					3

SOURCE:

TRIP GENERATION RATES TAKEN FROM
INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

PROPOSED P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	ROOMS OR UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
APARTMENTS	220	4840	10	0.62	6.2
TOTAL					7

SOURCE:

TRIP GENERATION RATES TAKEN FROM
INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

Corner of Vine
Estimated Water Demands

20-001-01
 1/29/2020
 NB

Domestic Water Flows

Description of Improvements:

See attached sheet for anticipated fixture counts

Wastewater flows assumed to match domestic water demand due to minimal landscape areas

Estimating Domestic Max. Demand

*Calculations are based on methods outlined in the AWWA, "Sizing Water Service Lines and Meters" manual.

Domestic Water Demand for Facility Given Specified Fixtures Assume Average Residential Fixture Value (AWWA M2)

Fixture Type	Fixture Value Based on 35 psi at Meter Outlet	Number of Fixtures	Fixture Value
Bathtub	8	8	64
Combined Sink & Tray	3		0
Drinking Fountain (cooler)	1		0
Drinking Fountain (public)	2		0
Kitchen Sink (1/2" connection)	3		0
Kitchen Sink (3/4" connection)	7	8	56
Lavatory (3/8" connection)	2		0
Lavatory (1/2" connection)	4	8	32
Laundry Tray (1/2" connection)	3		0
Laundry Tray (3/4" connection)	7	8	56
Shower Head (shower only)	4	8	32
Service Sink (1/2" connection)	3		0
Service Sink (3/4" connection)	7	2	14
Urinal (pedestal flush valve)	35		0
Urinal (wall or stall)	12	0	0
Urinal (trough. 2-ft unit)	2		0
Wash Sink (each set of faucets)	4		0
Water Closet (flush valve)	35		0
Water Closet (tank type)	3	8	24
Dishwasher (1/2" connection)	5	0	0
Dishwasher (3/4" connection)	10	8	80
Washing Machine (1/2" connection)	5		0
Washing Machine (3/4" connection)	12	8	96
Washing Machine (1" connection)	25	0	0
Hose Connections 1/2" (wash down)	6		0
Hose Connections 3/4" (wash down)	10		0
Hose 1/2" (50ft length - wash down)	6	3	18
Hose 5/8" (50ft length - wash down)	9		0
Hose 3/4" (50ft length - wash down)	12		0
Irrigation	3		0
Total Fixture Units			472

Nelson Engineering
 Jackson, Wyoming

Corner of Vine
Estimated Water Demands

20-001-01
 1/29/2020
 NB

Base on Fixture Count of 666 using the upper line in Fig. 4.4 for a public building the estimated Maximum Water Demand is 105 gpm.

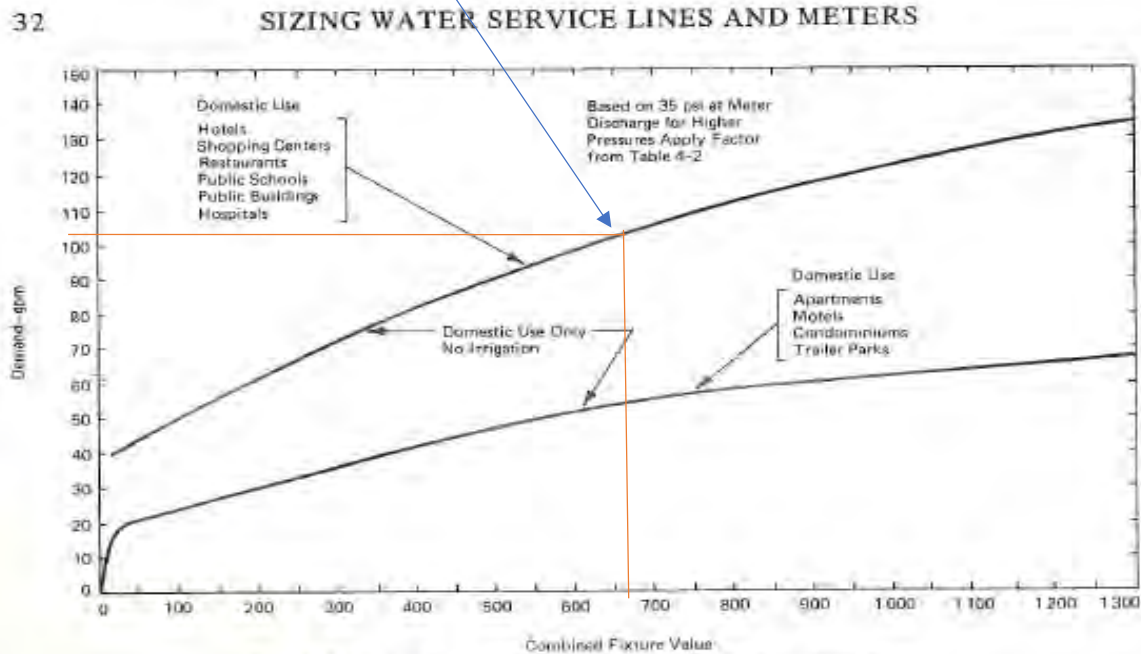
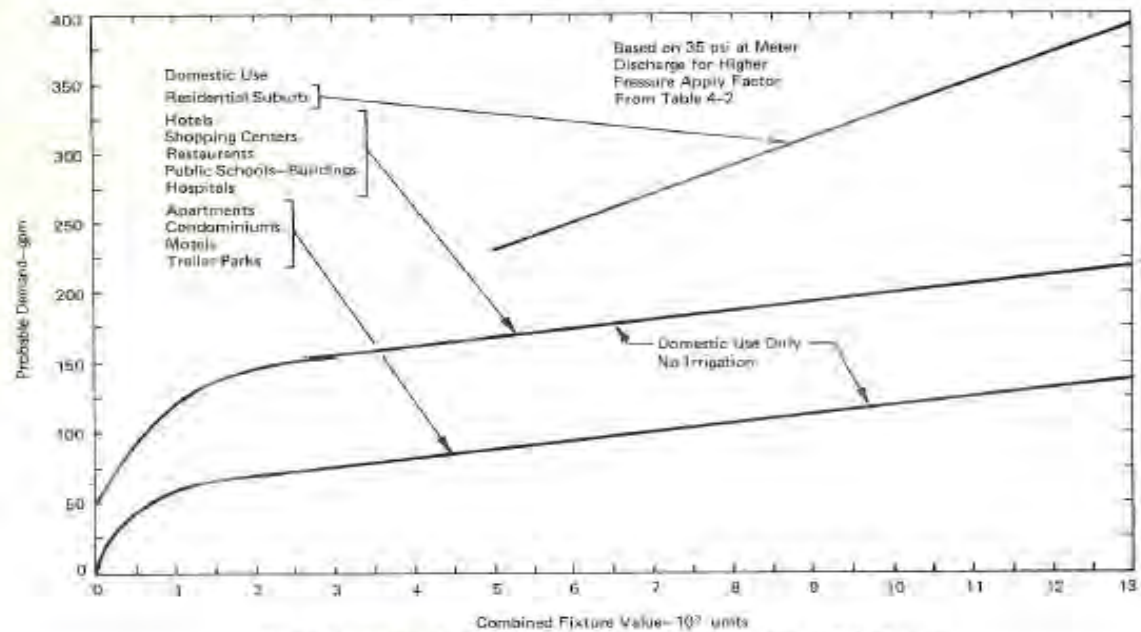


Fig. 4.4. Water-Flow Demand per Fixture Value—Low Range



Nelson Engineering
 Jackson, Wyoming

Corner of Vine
Estimated Water Demands

20-001-01

1/29/2020

NB

Fig. 4.5. Water-Flow Demand per Fixture Value—High Range

detailed lists of fixtures before estimates can be prepared. If the structure is in the planning stage, the mechanical engineer or architect is the best source of information, and, if construction is underway, the plumbing contractor or the building permits section of the city will have the information. Field trips by the estimator are often necessary to assist the customer as well as to properly assess the project when

Calculate Demands Based on Estimated System Pressure

Est. Max. Demand	105	gpm	
Pressures at Nearest Meter	51	psi	(Estimated)
Elevation at Meter	6261	ft	(Estimated)
F.F. of 2nd Floor	6273	ft	
Pressure at 2nd Floor	45.8	psi	

Table 4.2 (for pressures other than 35 psi)

Design Pressure	Factor
20	0.74
30	0.92
35	1
40	1.07
50	1.22
60	1.34
70	1.46
80	1.57
90	1.68
100	1.78

For Pressures Deviating from 35 psi

Est. Pressure (psi)

45.8

psi

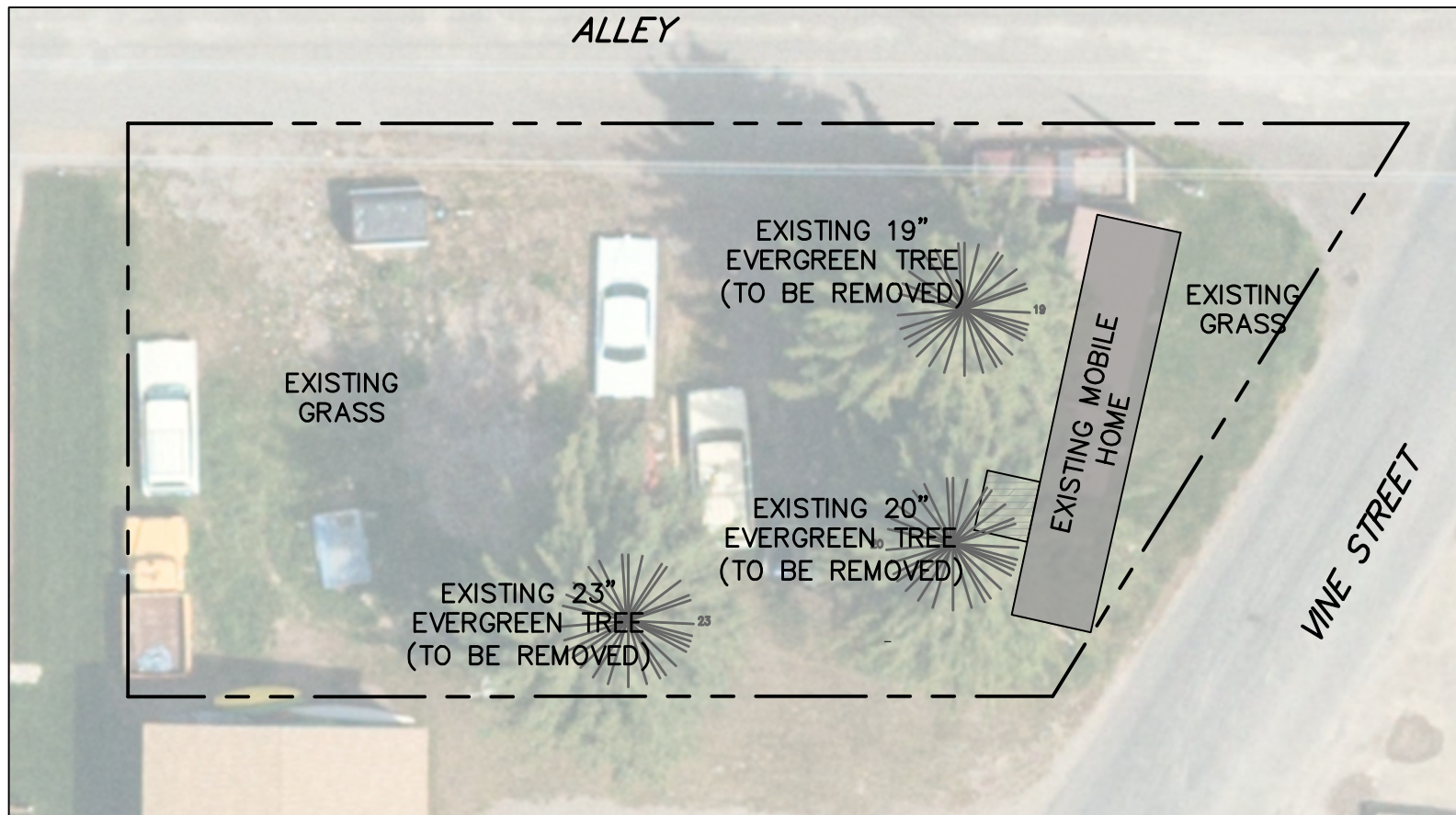
Demand @ Est Pressure

121.19

gpm

Max Demand/flow

Nelson Engineering
Jackson, Wyoming



EXISTING VEGETATION MAP



SCALE: 1" = 20'
(24" X 36" SHEET)

PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	CONDITION	SIZE	COMMENT
CS	3	EVERGREEN TREES <i>Picea pungens</i>	Colorado Spruce	B&B	8' – 10' HEIGHT	GREEN VARIETY SLENDER HABIT
PA	2	DECIDUOUS TREES <i>Fraxinus pennsylvanica</i> 'Patmore'	Patmore Ash	B&B	3" CALIPER	
QA	1	<i>Populus tremuloides</i>	Quaking Aspen	B&B	3" CALIPER	
AM	2	LARGE SHRUBS / MULTI-STEM TREES <i>Acer ginnala</i>	Amur Maple	B&B	6' HT.	
SS	6	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	CONTAINER	10 GAL.	
CC	3	<i>Prunus virginiana</i>	Common Chokecherry	CONTAINER	10 GAL.	
LI	3	<i>Syringa presoniae</i> "James McFarlane"	James McFarlane Lilac	CONTAINER	10 GAL.	
DN	6	#5 CONTAINER SHRUBS <i>Physocarpus opulifolius</i> 'Nanus'	Dwarf Ninebark	CONTAINER	5 GAL.	
DI	7	<i>Physocarpus opulifolius</i> 'Diablo'	Diablo Ninebark	CONTAINER	5 GAL.	

PLANT UNIT CALCULATIONS

BASE SITE AREA = 8,276 SF (0.19 AC)
LANDSCAPE SURFACE RATIO (LSR) = .21 MINIMUM REQUIRED
LANDSCAPE SURFACE AREA REQUIRED = 1,738 SF MINIMUM
LANDSCAPE SURFACE AREA PROVIDED = 2,390 SF

PLANT UNITS REQUIRED
TOTAL LANDSCAPE AREA = 2,390 SF 2 PLANT UNITS
10 PARKING SPACES = 1 PLANT UNIT
TOTAL PLANT UNITS REQUIRED = 3 PLANT UNITS

ALTERNATIVE	EVERGREEN	CANOPY	LG. SHRUB	#5 CONT. SHRUBS
B	3	2	2	–
A	–	1	6	4
A	–	1	6	4
REQUIRED	3	4	14	8
CREDIT FOR BENCH		–1		
CREDIT FOR BIKE RACK		–1		
TOTAL REQ'D.	3	2	14	8
TOTAL PROVIDED	3	3	14	13

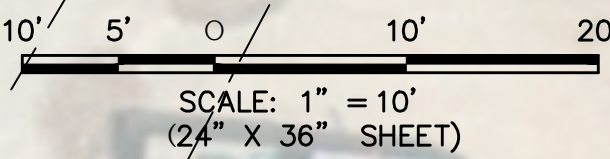
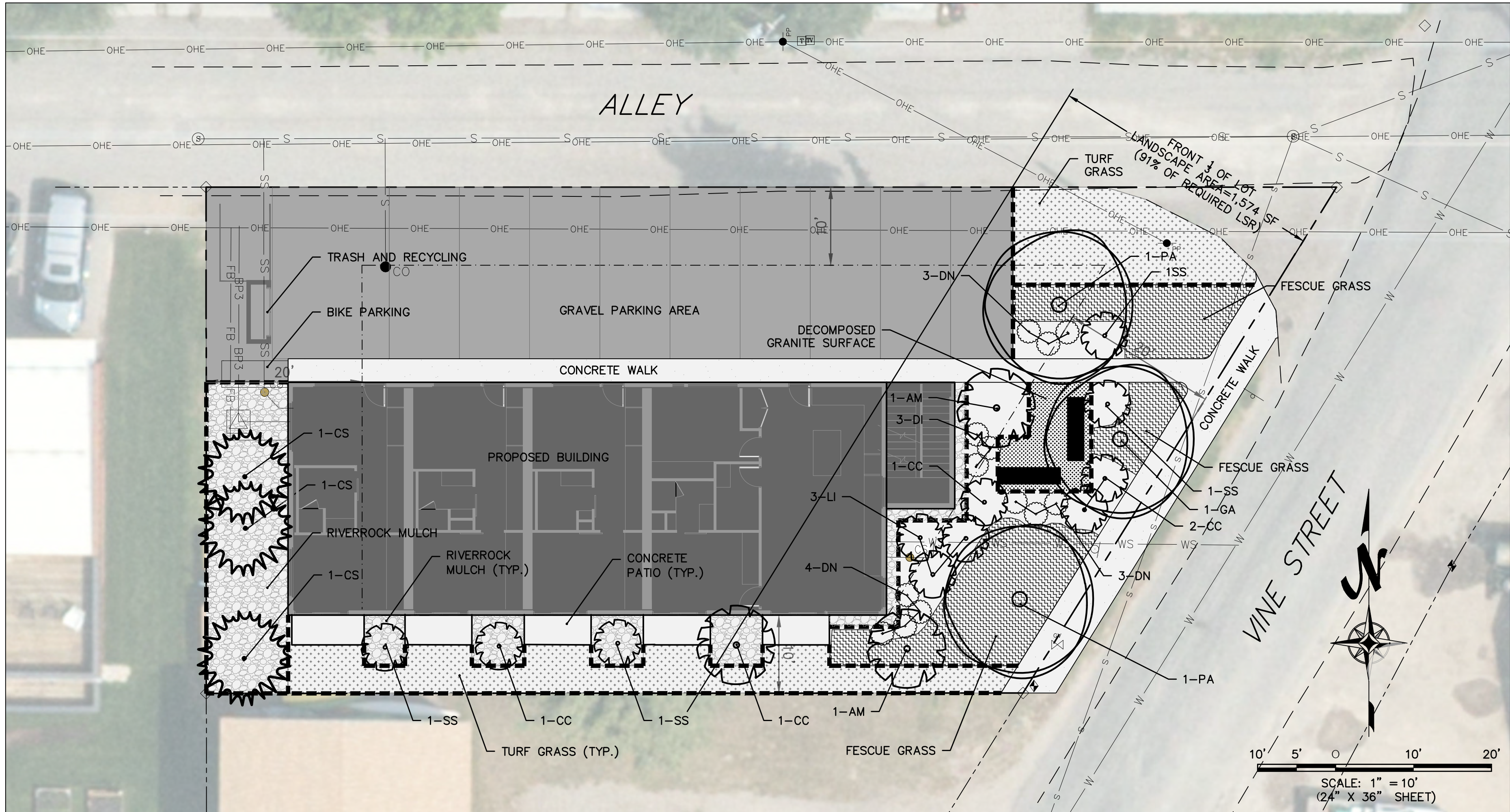
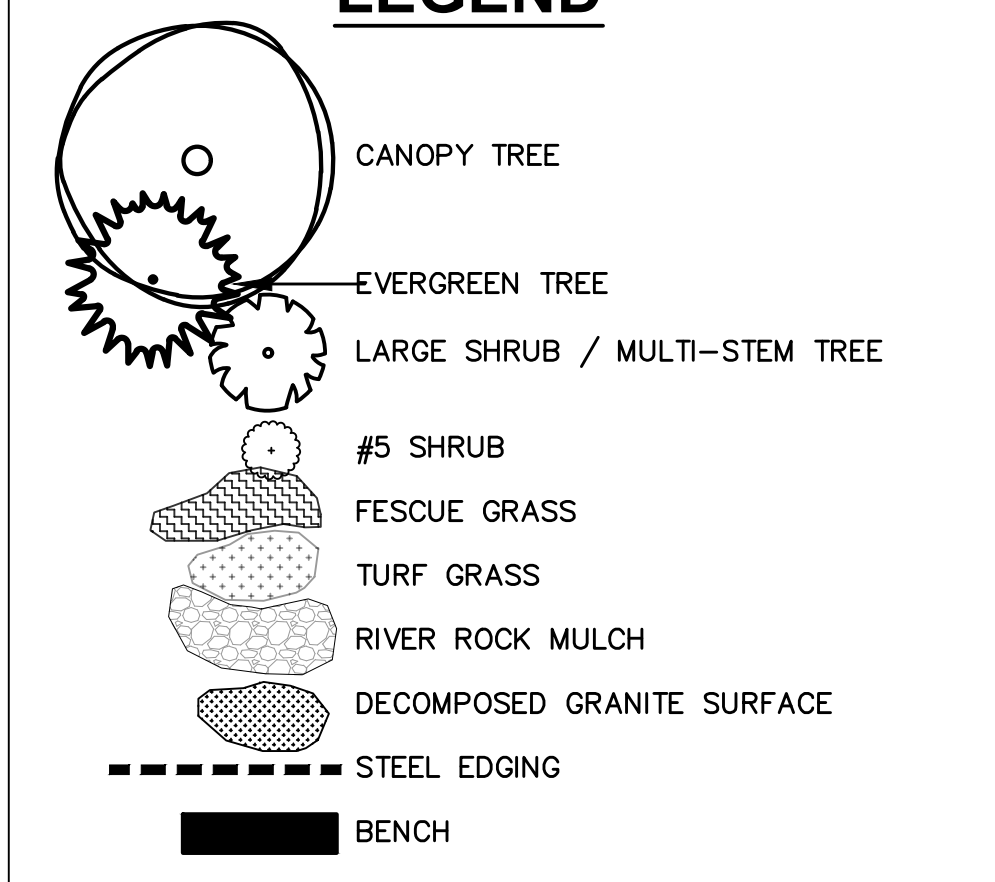
GENERAL LANDSCAPE NOTES:

- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND MATERIALS
- SEE CIVIL PLANS FOR SITE LAYOUT, PAVING MATERIALS, GRADING, AND EROSION CONTROL.
- THIS PLAN IS BASED ON THE EXISTING SITE SURVEY FOR KEN RIZZOTTI, LOT 1, BLK. 3, MEADOWLAND BY NELSON ENGINEERING, DATED 11–13–2019. AND THE SITE PLAN BY NELSON.
- PROVIDE A MINIMUM OF 2" OF ORGANIC MULCH IN ALL PLANTING BEDS EXCEPT WHERE RIVER ROCK MULCH IS SHOWN.
- PROVIDE A MINIMUM OF 18" OF SCREENED TOPSOIL IN ALL LANDSCAPE AREAS. SCARIFY AND LOOSEN EXISTING SUBGRADE PRIOR TO PLACING TOPSOIL
- PROVIDE WEED FABRIC UNDER ALL RIVER ROCK MULCH AREAS. DO NOT USE WEED FABRIC IN PERENNIAL BEDS.
- ALL PLANT MATERIALS SHALL BE WARRANTED FOR A PERIOD OF 2 YEARS FROM SUBSTANTIAL COMPLETION.
- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. THE CONTRACTORS SHALL NOTIFY THE UTILITY COMPANIES IN ADVANCE OF THEIR CONSTRUCTION OPERATION TO ENABLE THEM TO FIELD LOCATE THEIR UTILITIES.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND REPORT FINDINGS TO THE OWNER PRIOR TO PROCEEDING WITH RELATED CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SATISFY THEMSELVES THAT ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, HAVE BEEN PROPERLY LOCATED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AFFECTED BY THE PROSECUTION OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE AFFECTED UTILITY COMPANY AND THE COORDINATION OF ALL WORK IN THE PROXIMITY OF THE UTILITIES.
- THE CONTRACTOR SHALL CONTACT "ONE CALL" – 811 (PHONE 1-800-849-2476) FOR THE MARKING OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES SHOWN AND OTHER UTILITY LINES OTHERWISE LOCATED.

IRRIGATION NOTES:

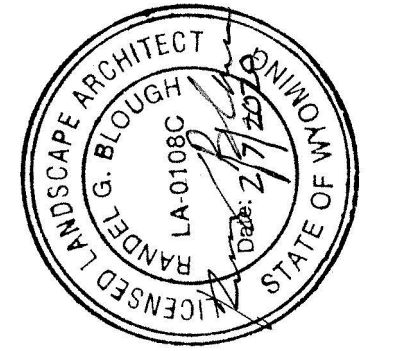
- THE CONTRACTOR SHALL PROVIDE ALL DESIGN, LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO INSTALL A HIGH QUALITY, EFFICIENT, RELIABLE, AND MAINTAINABLE LANDSCAPE IRRIGATION SYSTEM CAPABLE OF PROVIDING SUPPLEMENTARY WATER FOR THE PROPOSED LANDSCAPE PLAN. ALL COMPONENTS SHALL BE MANUFACTURED BY A REPUTABLE MANUFACTURER AND SHALL BE SUITABLE FOR COMMERCIAL USE.
- ALL WORK SHALL COMPLY WITH ALL ORDINANCES, REGULATIONS AND CODES OF AUTHORITIES HAVING JURISDICTION. BACKFLOW PREVENTION DEVICES SHALL BE FURNISHED AND INSTALLED AS REQUIRED BY LOCAL CODE.
- SYSTEM DESIGN:
 - THE CONTRACTOR SHALL DESIGN A 100 PERCENT COVERAGE IRRIGATION SYSTEM, INCLUDING COMPREHENSIVE ENGINEERING ANALYSIS BY A QUALIFIED IRRIGATION TECHNICIAN, USING PERFORMANCE REQUIREMENTS, SPECIFIED COMPONENTS, AND DESIGN CRITERIA INDICATED.
 - EACH PLANT TYPE (FESCUE GRASS, TREES, SHRUBS AND PERENNIAL BEDS) SHALL BE SERVED BY SEPARATE ZONES TO ALLOW SPECIFIC WATERING SCHEDULES FOR EACH TYPE.
 - ALL FESCUE AND TURF GRASS AREAS ARE TO BE SERVED BY FIXED SPRAY WITH HEAD TO HEAD COVERAGE. PROVIDE THE MINIMUM NUMBER OF ZONES REQUIRED FOR EFFICIENT FUNCTIONALITY WITH THE AVAILABLE PRESSURES AND FLOWS.
 - ALL PROPOSED TREES AND SHRUBS SHALL BE SERVED BY A DRIP IRRIGATION SYSTEM.
- WATER SUPPLY IS THE TOWN OF JACKSON MUNICIPAL WATER SYSTEM.

LEGEND



SCALE: 1" = 10'
(24" X 36" SHEET)

DATE: 2-7-2020
REVISIONS:



SCALE: AS SHOWN
DESIGNED BY: RGB
DRAWN BY: RGB
CHECKED BY: RGB
PROJ. #: 20003

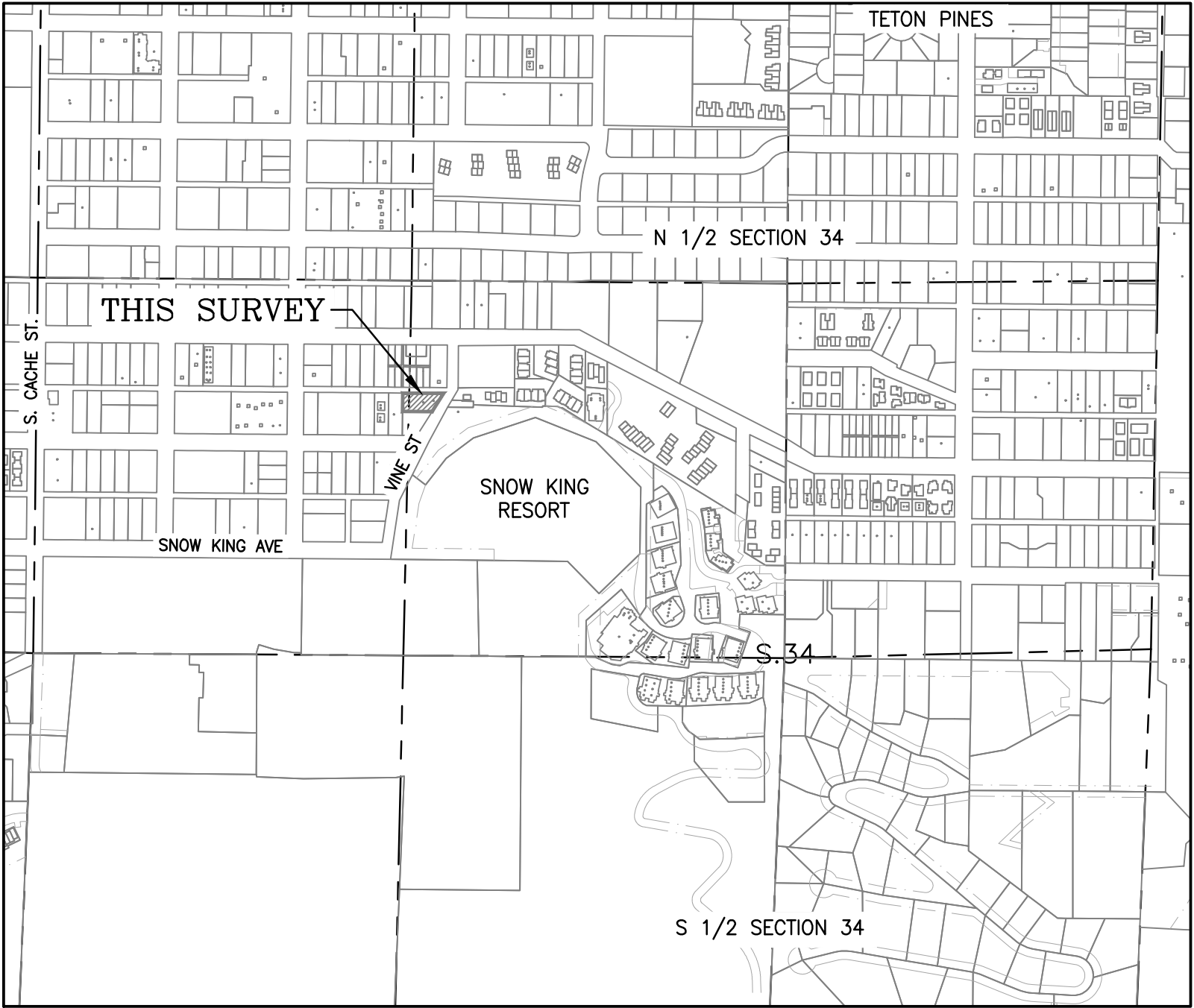
PROJECT NAME
CORNER OF VINE
445 VINE STREET, JACKSON, WY
LANDSCAPE PLAN

SHEET #
L1.1

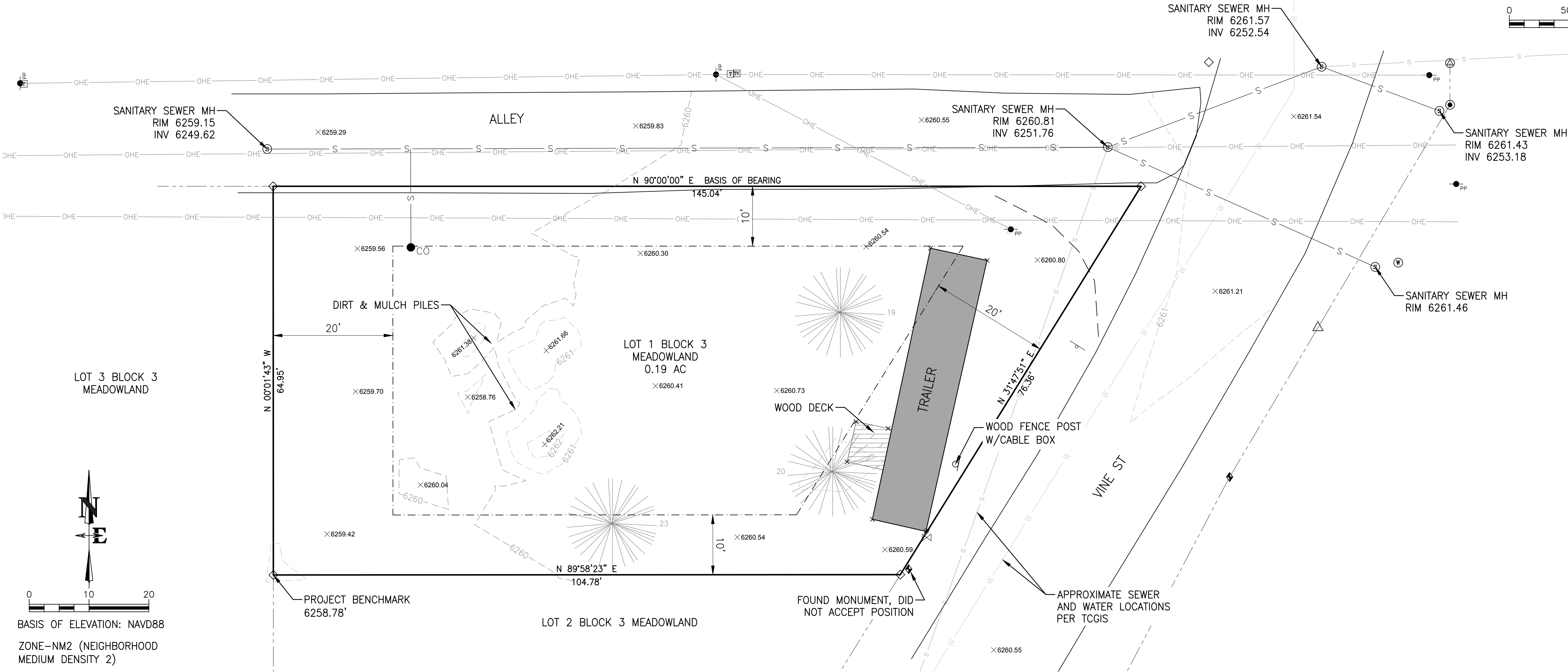
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- LEGEND**

 - = PROPERTY LINE
 - = BUILDING SETBACKS
 - = EDGE OF PAVEMENT
 - = EDGE OF GRAVEL
 - S S = SANITARY SEWER LINE
 - OHE OHE = OVERHEAD POWER
 - (S) = SANITARY SEWER MANHOLE
 - CO = SANITARY SEWER CLEANOUT
 - (W) = WATER MANHOLE
 - X = GAS VALVE
 - PP = POWER POLE
 - T = TELEPHONE PEDESTAL
 - TV = TV PEDESTAL
 - = SIGN
 - ◇ = FOUND REBAR
 - ⊗ = FOUND REBAR WITH CAP "NE PLS 578"
 - △ = FOUND REBAR WITH CAP "PLS 3831"
 - ⊙ = FOUND PK SHINER "PLS 3831"
 - ◆ = FOUND REBAR WITH CAP
 - ☼ = PINE TREE WITH DIAMETER



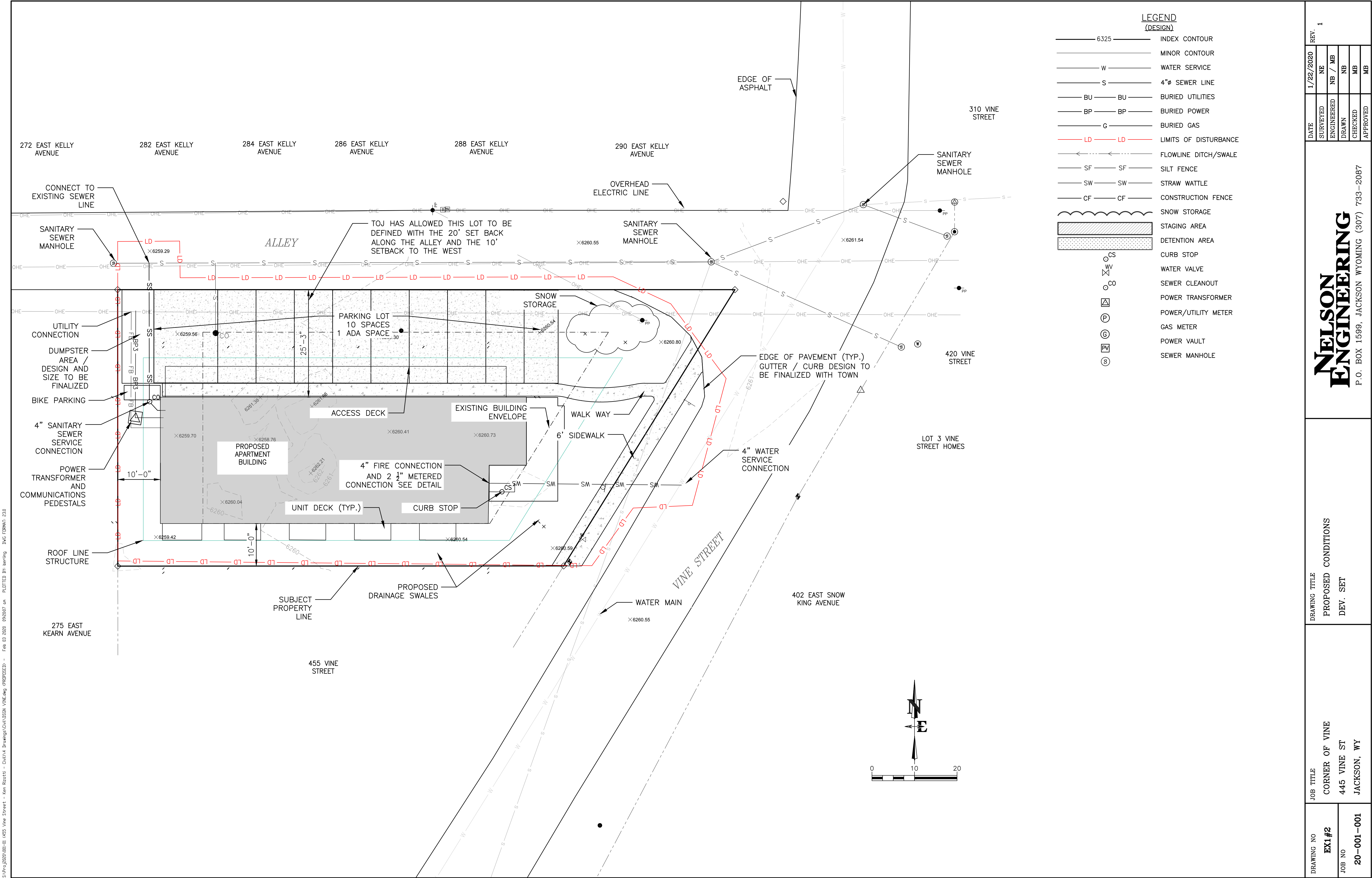
VICINITY MAP
PORTION OF SECTION 34
T41N, R116W
TETON COUNTY, WY



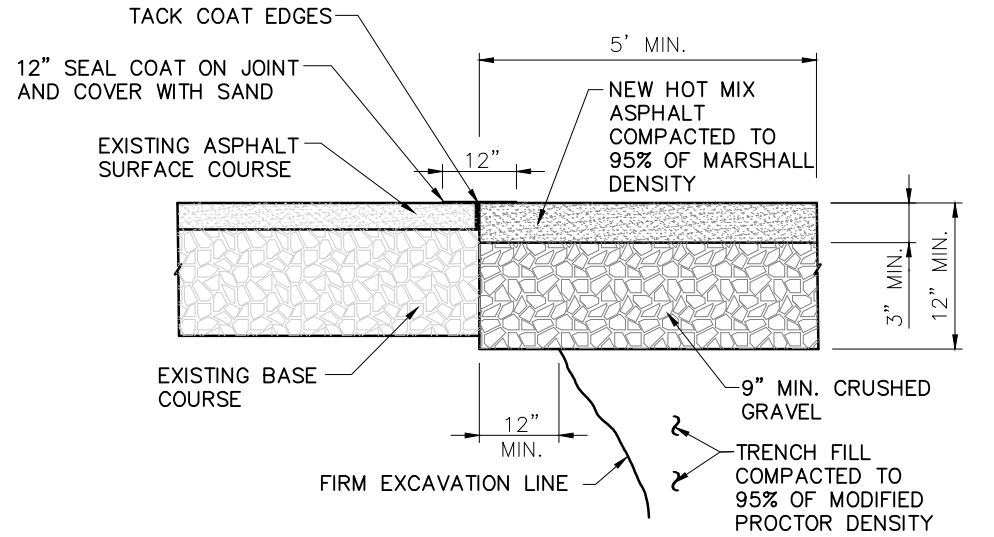
BASIS OF ELEVATION: NAVD88
ZONE-NM2 (NEIGHBORHOOD MEDIUM DENSITY 2)
SETBACKS PER LDR 2.2.8:
FRONT: 20'
SIDES: 10'
REAR: 20'

DRAWING NO	JOB TITLE	DRAWING TITLE	REV.			
			DATE	SURVEYED	ENGINEERED	APPROVED
EX #1	CORNER OF VINE 445 VINE STREET JACKSON, WY	EXISTING SITE SURVEY	1/22/2020	WYD	-	
JOB NO				DRAWN	WYD/BIG	LR
19-359-01				CHECKED		
				APPROVED		

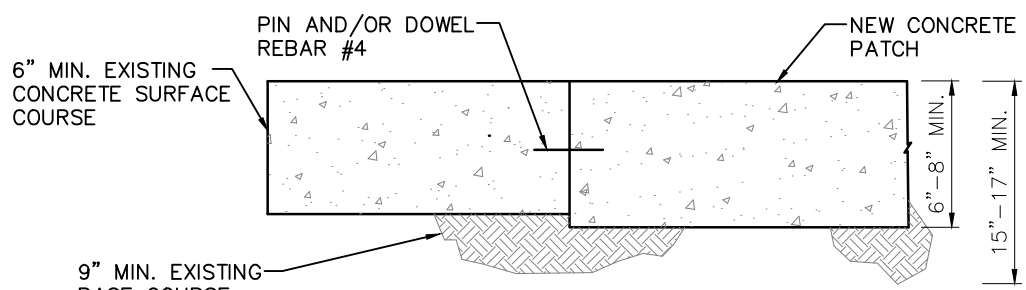
**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



S:\proj\B00101-01_435 Vine Street - Ken Rizzetti - Ken Rizzetti - C:\Users\KJ\Documents\Grading and Paving\22 X 34 - Jan 27 2020 04:17:06 pm PLOTTED BY: bering DWG FIRM: 230



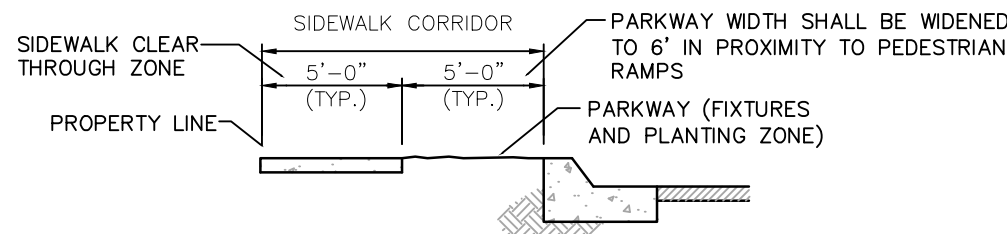
ASPHALT PATCH REPAIR DETAIL



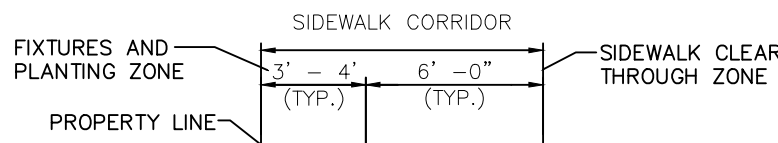
CONCRETE PATCH REPAIR DETAIL

- NOTES:
1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
 2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
 3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

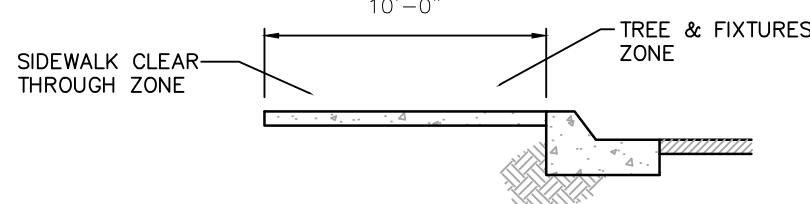
ST-118 PATCH REPAIR SECTION
TOJ STD DETAIL



DETACHED SIDEWALK
(SEE NOTE 5)



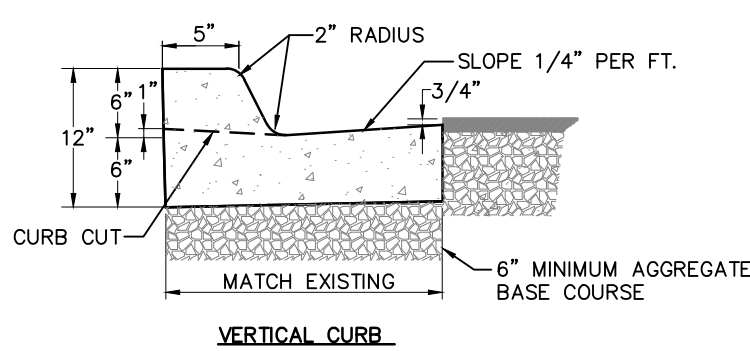
ATTACHED SIDEWALK
(NON-COMMERCIAL STREETS)
(SEE NOTE 4)



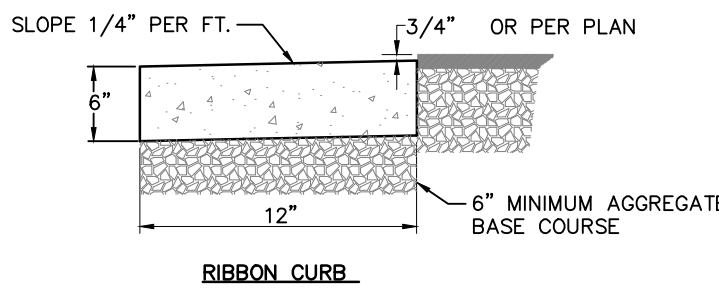
ATTACHED SIDEWALK
(COMMERCIAL STREETS)

- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS
 2. SIDEWALK, PEDESTRIAN RAMPS AND CURB & GUTTER CONSTRUCTION SHALL BE PER TOWN STANDARDS
 3. WITHIN THE TOWN'S BOARDWALK DISTRICT, BOARDWALK (RATHER THAN SIDEWALK) SHALL BE INSTALLED.
 4. MINIMUM CLEARANCE AROUND ALL OBSTRUCTIONS SHALL BE 5'-0"
 5. ON NON-COMMERCIAL STREETS DETACHED SIDEWALK SHALL BE THE PREFERRED OPTION. IN ORDER TO MAINTAIN THE CLEAR THROUGH ZONE, THE FIXTURES ZONE SHALL BE WHERE FIRE HYDRANTS, UTILITY POLES, GUY WIRES, PULL BOXES, NEWSPAPER BOXES, PHONE BOOTHS, AND OTHER SUCH OBSTRUCTIONS ARE LOCATED.

ST-128 SIDEWALK CORRIDOR
TOJ STD DETAIL



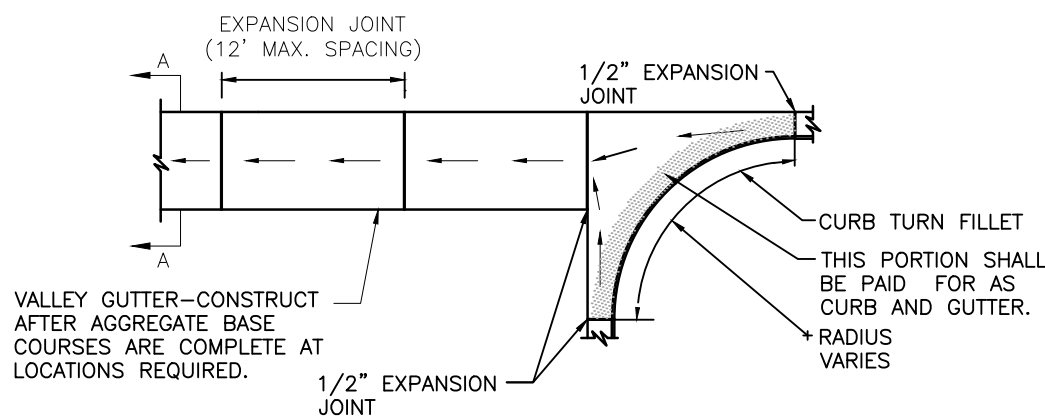
VERTICAL CURB



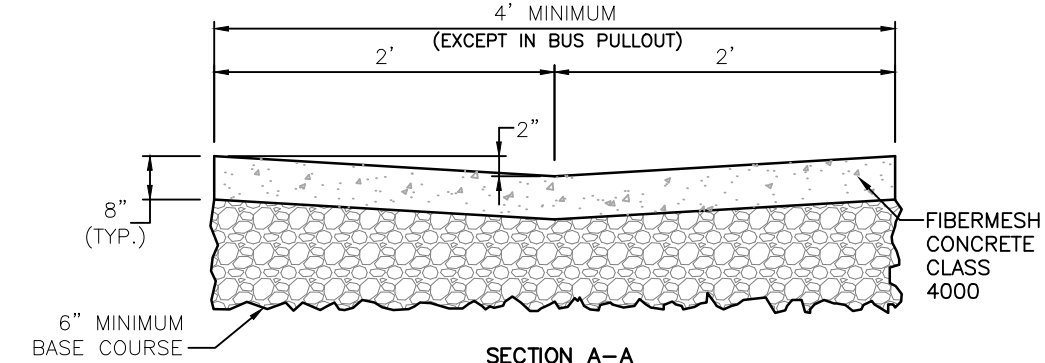
RIBBON CURB

- NOTES:
1. CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
 4. ROLL CURB SHALL NOT BE ALLOWED.

ST-110 CURB SECTION DETAIL
TOJ STD DETAIL



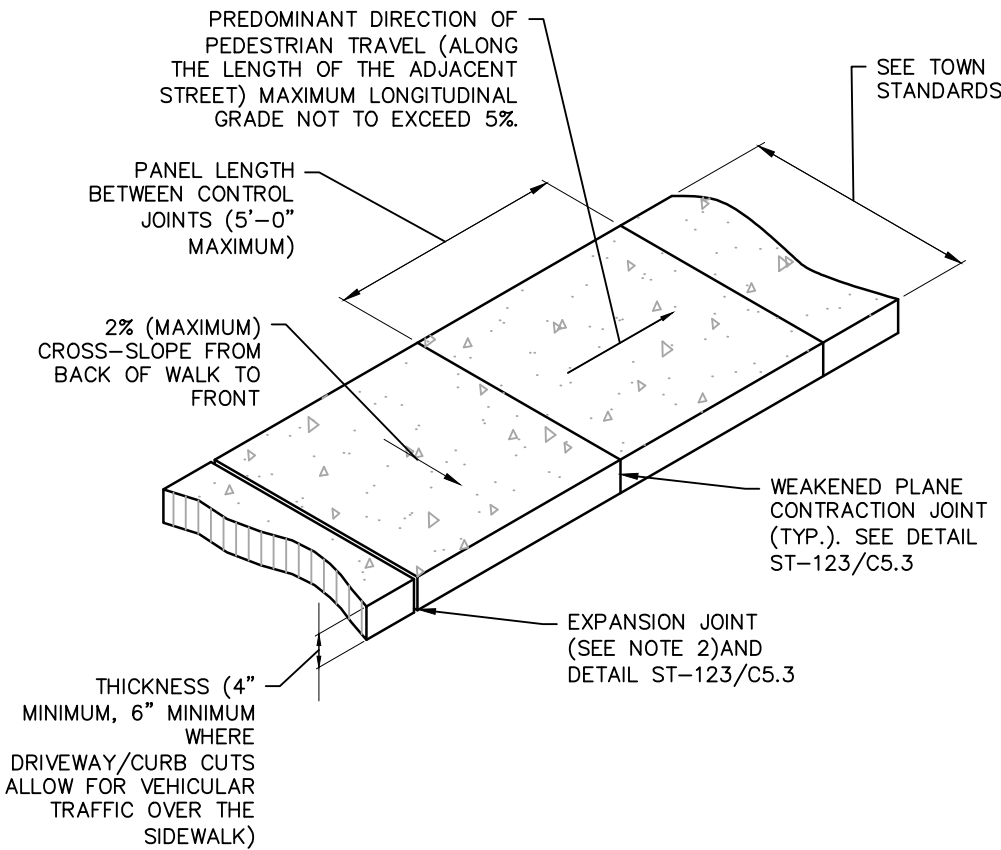
VALLEY GUTTER-CONSTRUCT AFTER AGGREGATE BASE COURSES ARE COMPLETE AT LOCATIONS REQUIRED.



SECTION A-A

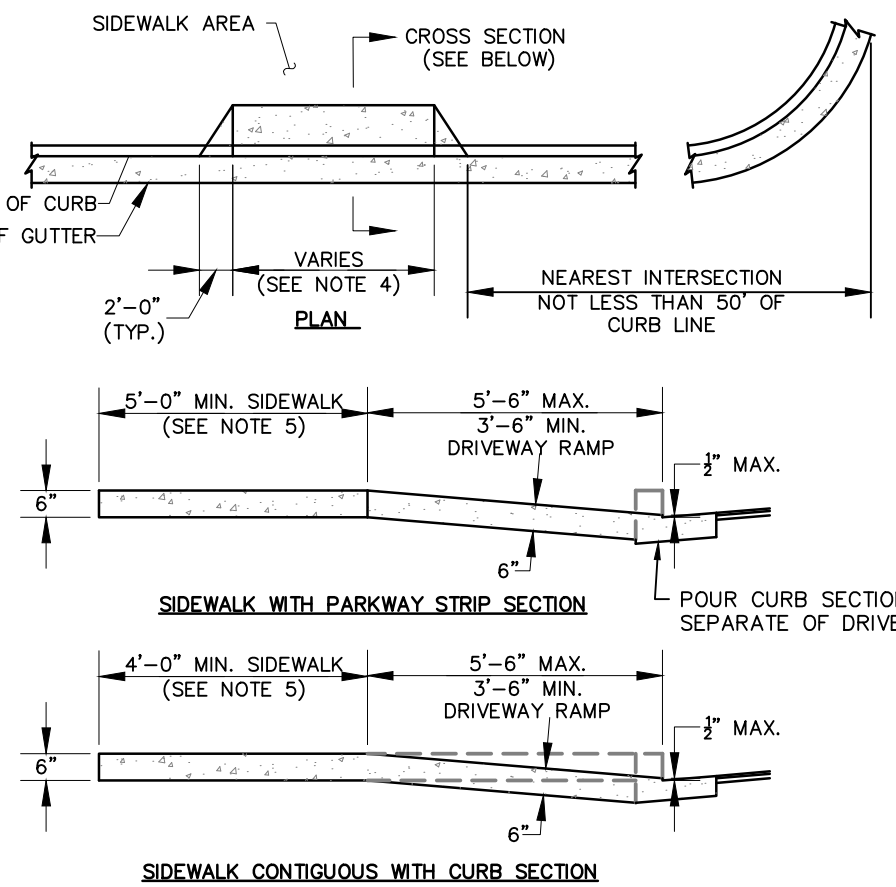
- NOTES:
1. VALLEY GUTTERS AND CURB TURN FILLETS SHALL CONFORM TO WPWSS SECTION 02528, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.08.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF VALLEY GUTTER SHALL TAKE PLACE IN FULL PANELS.
 4. CURB AND GUTTER SECTION SHALL BE POURED SEPARATE OF VALLEY PAN AS WELL AS PEDESTRIAN RAMP AND/OR SIDEWALK.

ST-109 VALLEY GUTTER & CURB TURN FILLET
TOJ STD DETAIL



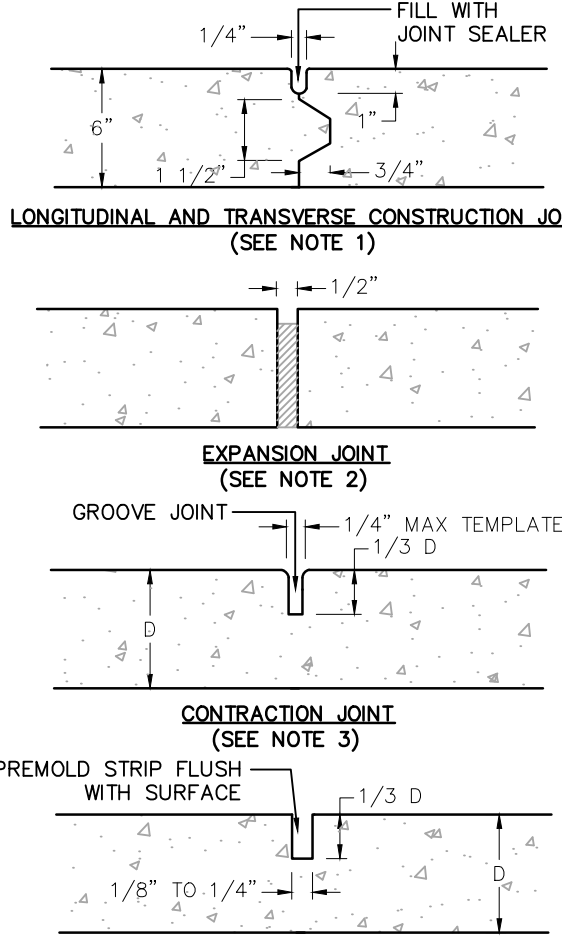
- NOTES:
1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER)
 3. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
 4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
 5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.

ST-123 CONCRETE SIDEWALK
TOJ STD DETAIL



- NOTES:
1. DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 2. CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 3. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 4. THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
 5. THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
 6. SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.

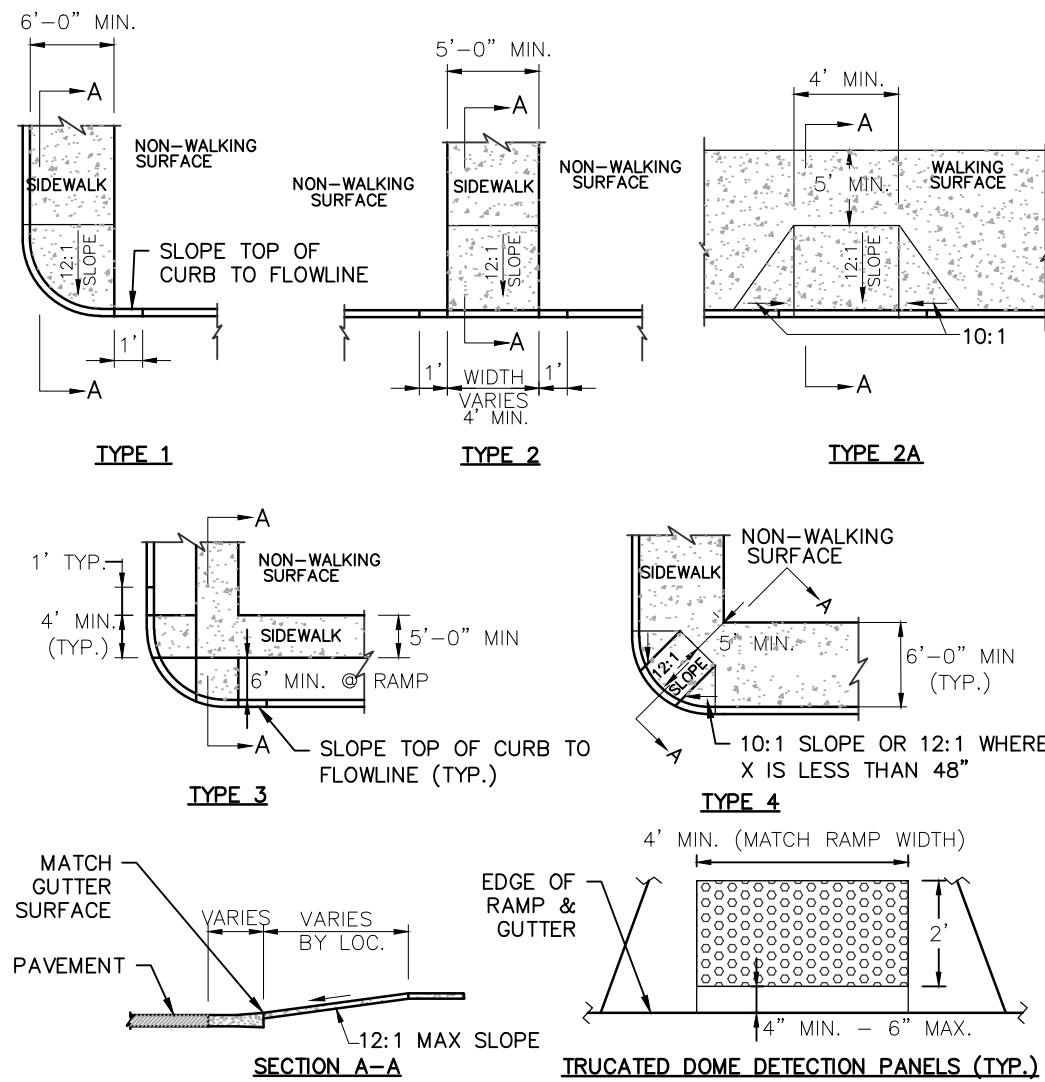
ST-113 DRIVEWAY CURB CUT
TOJ STD DETAIL



SAWED OR PREMOLED STRIP LONGITUDINAL OR TRANSVERSE JOINT

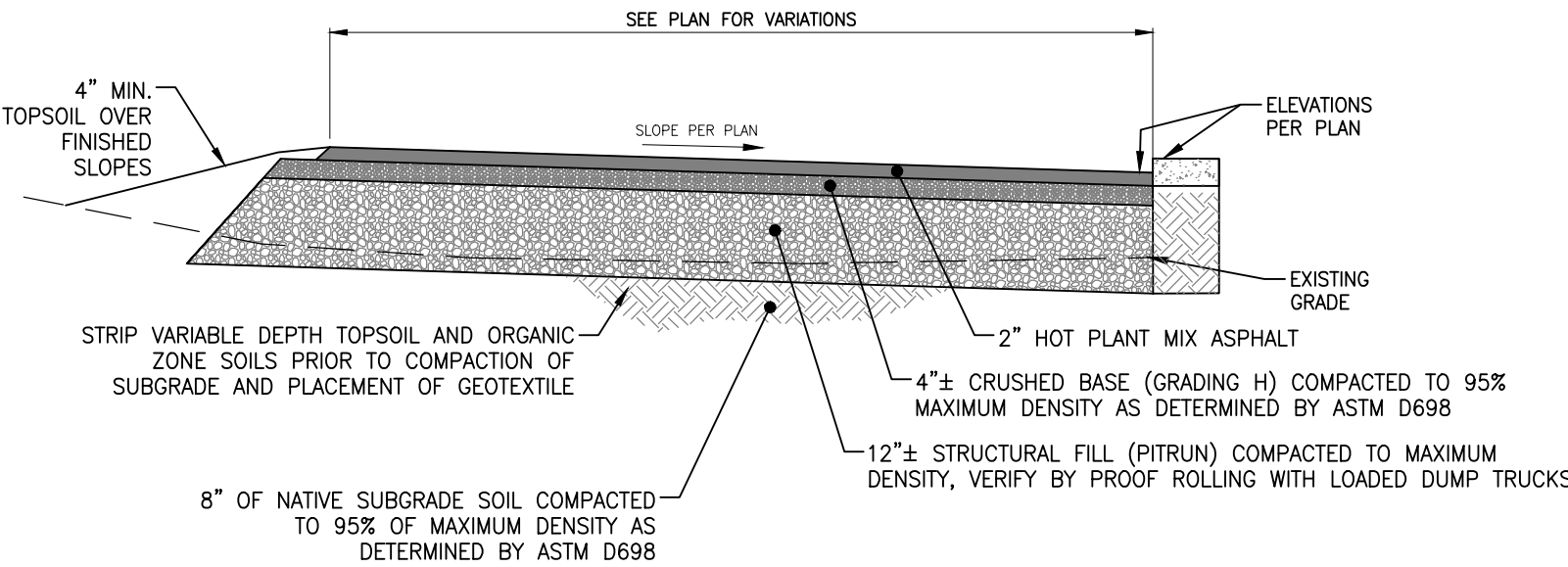
- NOTE:
1. KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
 2. 1/2" PREMOLED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
 3. FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
 4. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

ST-123 PAVING & CONCRETE JOINT DETAILS
TOJ STD DETAIL

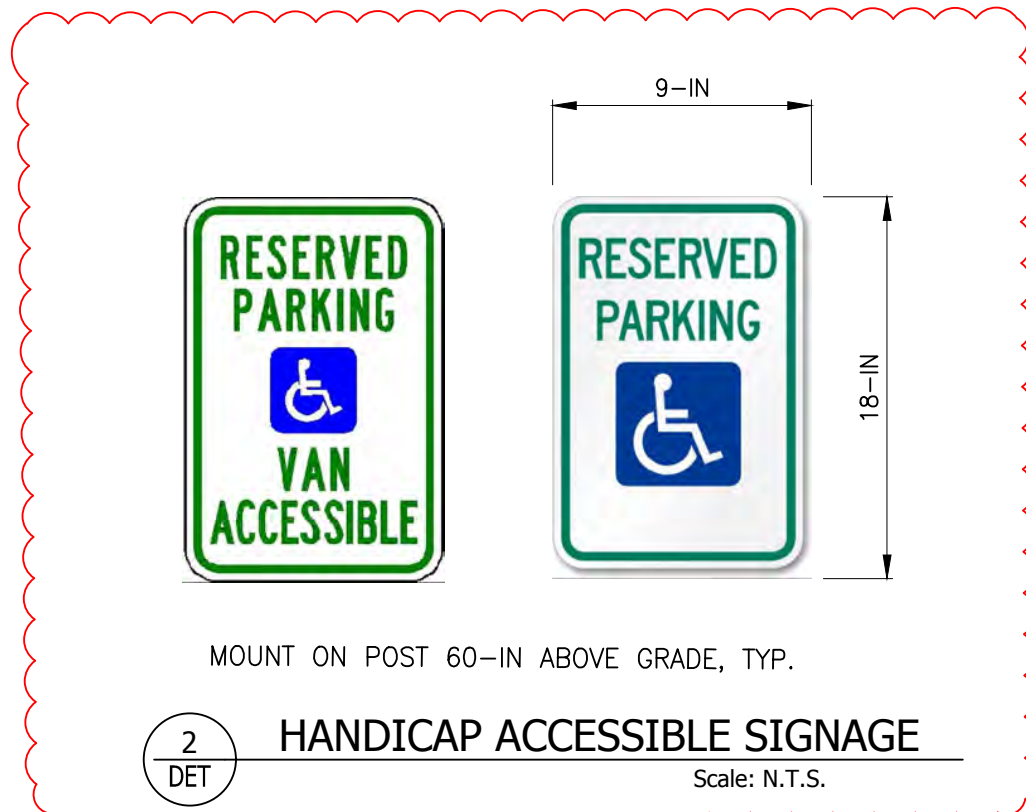


- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 2. LIP AT GUTTER TO BE NO MORE THAN 1/4" HIGH.
 3. CONCRETE TO BE A BROOM FINISH.
 4. ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR. (PANELS SHALL BE PROVIDED BY T.O.J.)

ST-112 PEDESTRIAN RAMPS
TOJ STD DETAIL



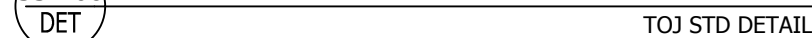
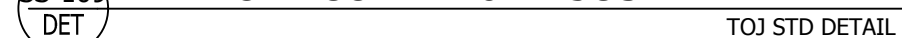
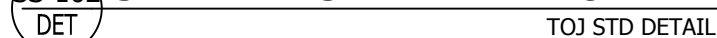
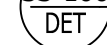
1 TYPICAL ASPHALT PARKING SECTION
Scale: N.T.S.



MOUNT ON POST 60-IN ABOVE GRADE, TYP.

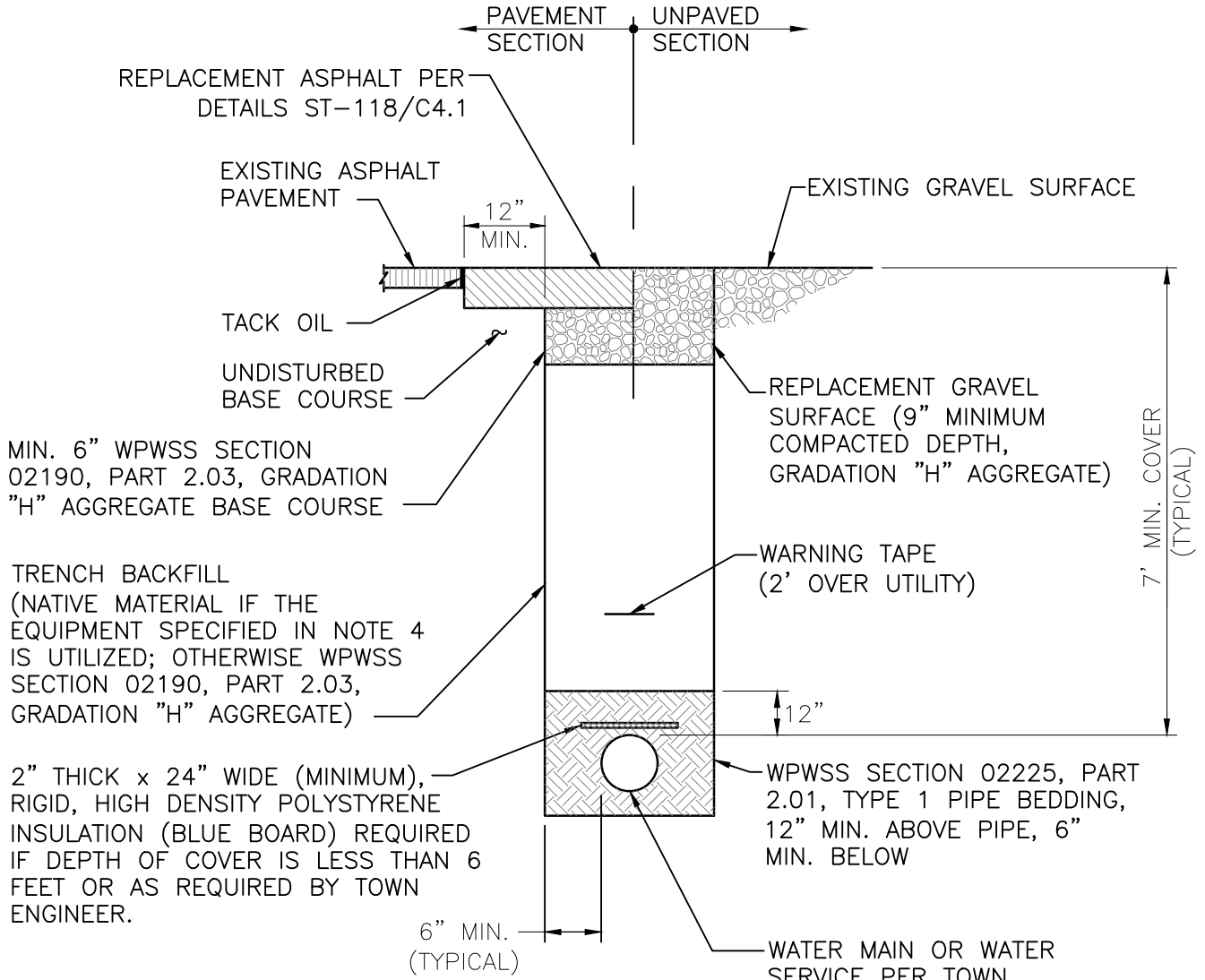
2 HANDICAP ACCESSIBLE SIGNAGE
Scale: N.T.S.

DRAWING NO		JOB TITLE	DRAWING TITLE	REV. 1					
DWG#425				DATE	SURVEYED	ENGINEERED	NB / MB	NB	MB
JOB NO		CORNER OF VINE 445 VINE ST JACKSON, WY	GRADING DETAILS DEV. SET	DRAWN			NB		
20-001-001				CHECKED			MB		
				APPROVED			MB		



NELSON ENGINEERING

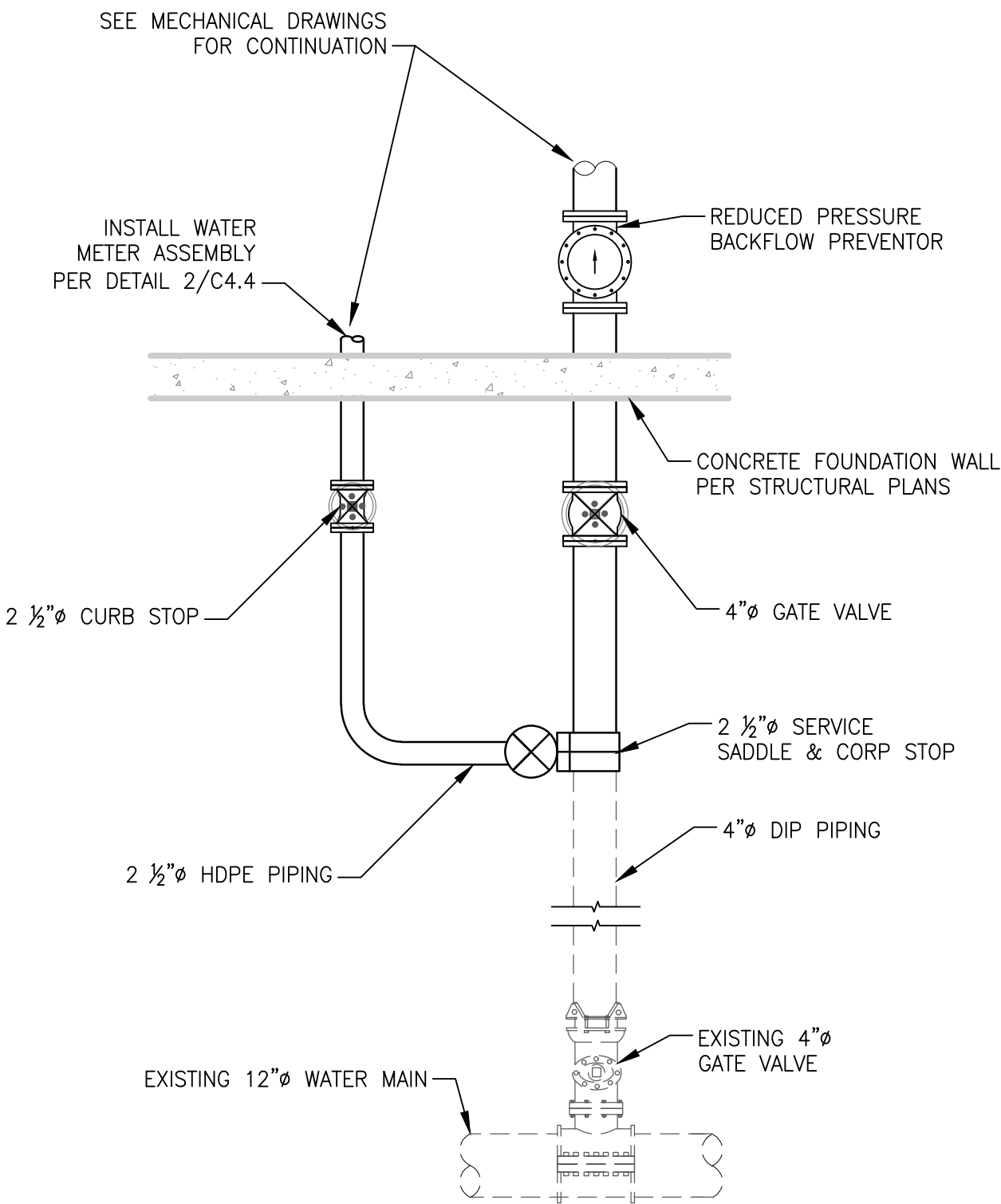
S:\proj\B00001-01_435 Vine Street - Ken Rietzli - Civil\4 Drawings\Utilities\DWG WATER AND DRY UTIL 22 X 34 - Jan 28 2020 02:50:55 pm PLOTTED BY: herring DWG FORMAT: 230



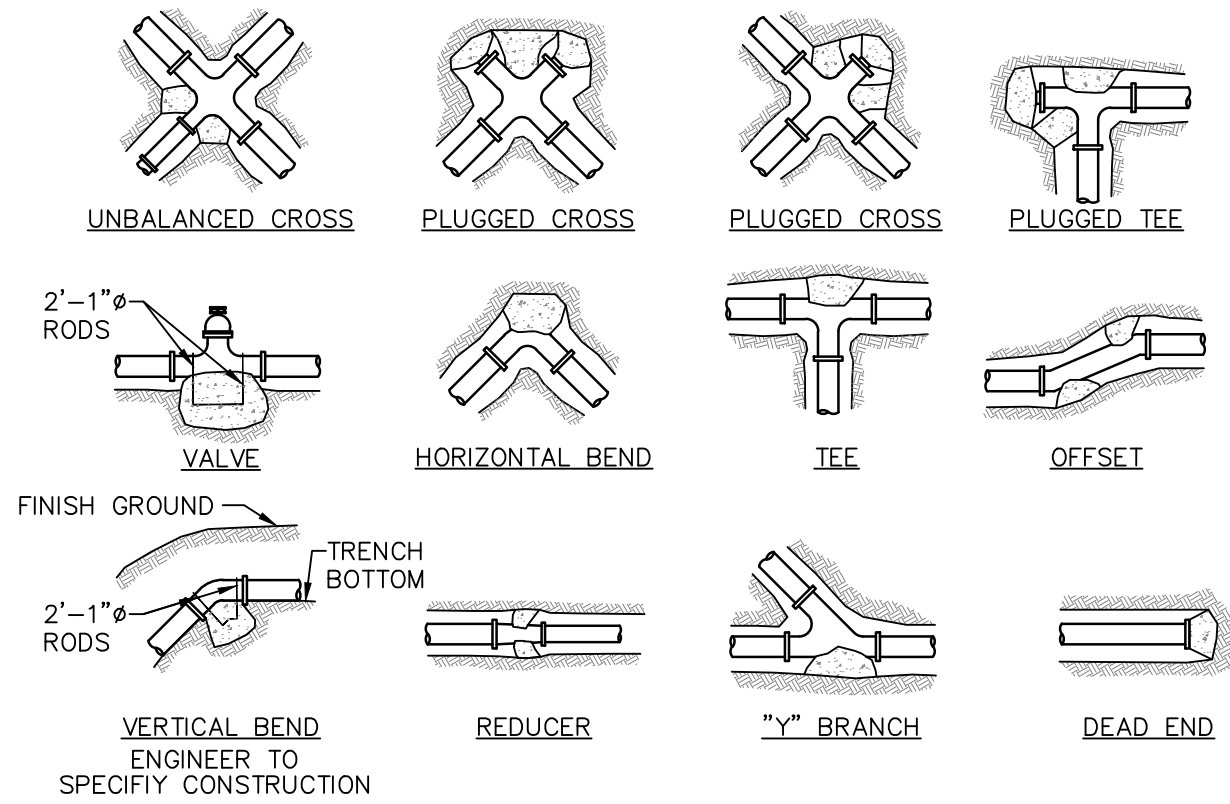
- NOTES:
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

W-100 DET WATER MAIN AND SERVICE LINE TRENCH

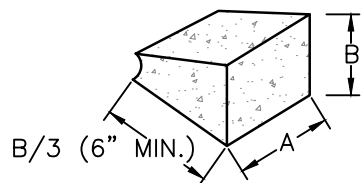
TOJ STD DETAIL



1 DET WATER SERVICE CONNECTION DETAIL



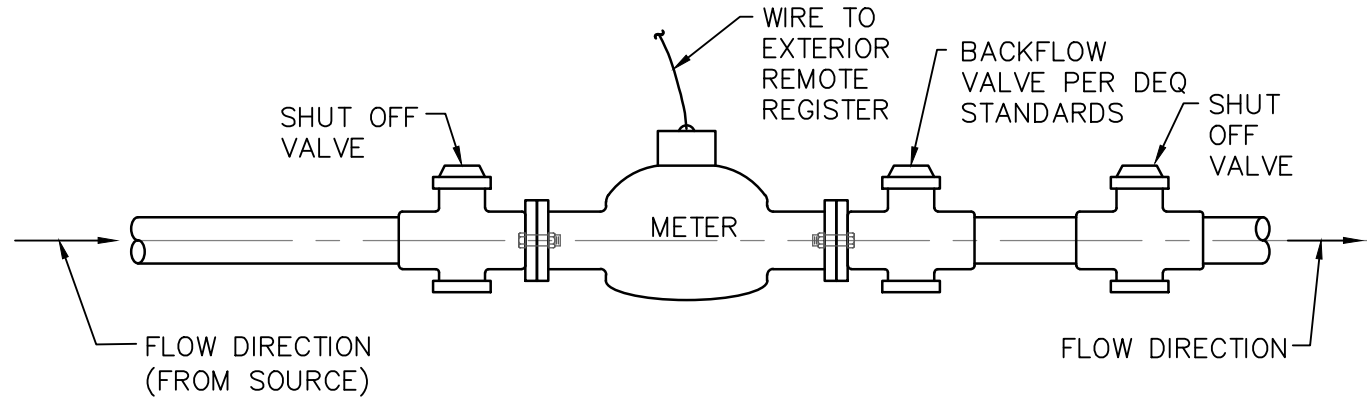
MINIMUM DIMENSIONS FOR THRUST BLOCKING										
FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-7"	1'-2"	1'-9"	1'-6"	1'-8"	0'-10"	1'-7"	0'-6"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-8"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"



- NOTES:
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
 - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.

W-111 DET THRUST BLOCK DETAILS

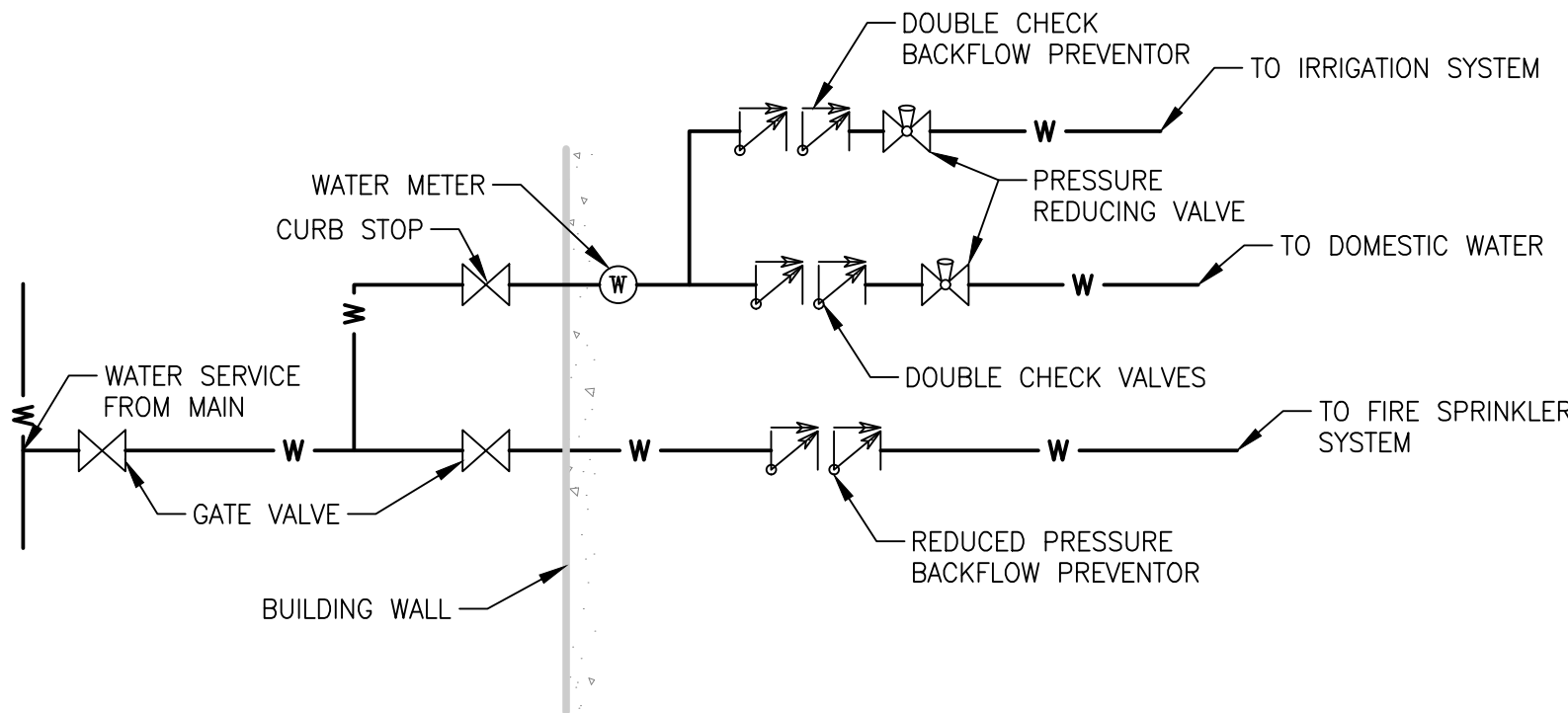
TOJ STD DETAIL



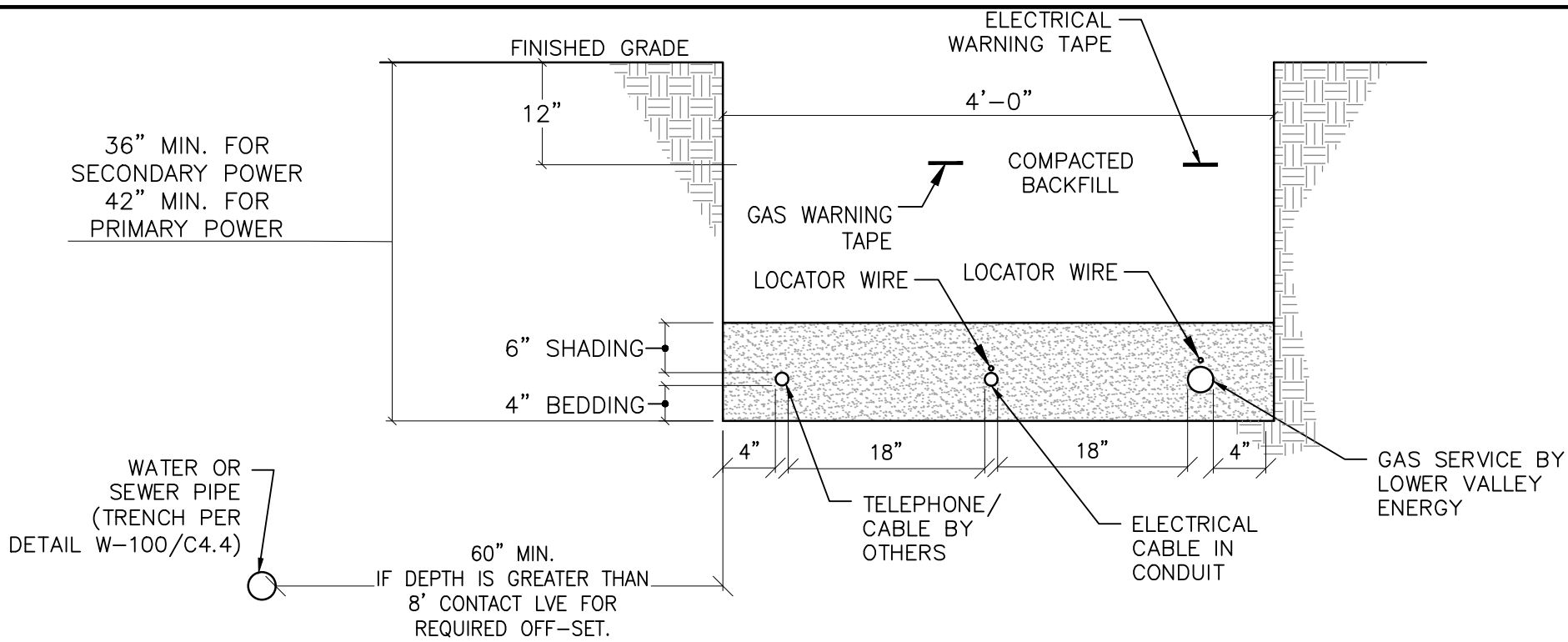
2 1/2" DIAMETER ASSEMBLY

- NOTES:
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
 - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
 - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.
 - METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.

2 DET WATER METER INSTALLATION DETAIL



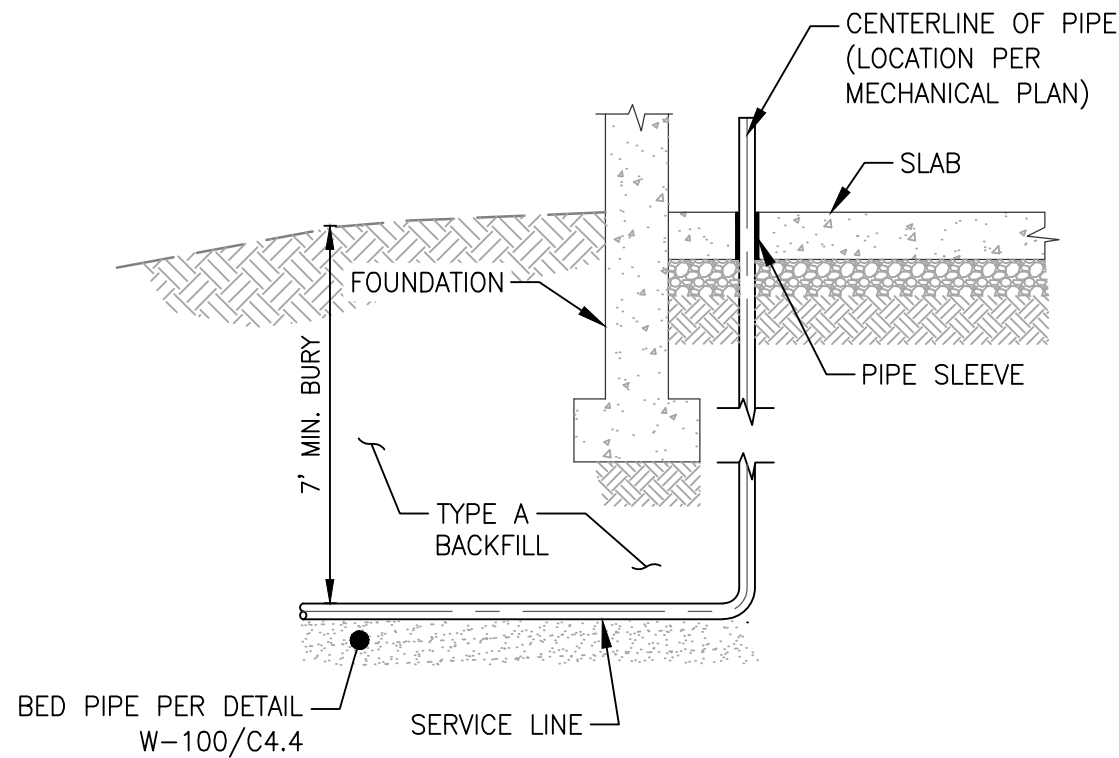
3 DET WATER SERVICE FIRE ENTRY SCHEMATIC DETAIL



- NOTES:
- WHEN ELECTRICAL CONDUCTORS CROSS OVER OR UNDER WATER AND/OR SEWER PIPES THERE SHALL BE A MINIMUM OF 12" VERTICAL SEPARATION. IN ADDITION, THE ELECTRICAL CONDUCTORS SHALL BE PROTECTED WITH NOT LESS THAN 48" OF SUITABLE PVC OR RIGID STEEL CONDUIT WITH NO LESS THAN 24" ON EITHER SIDE OF THE CROSSING.
 - CONSUMER INSTALLED CONDUIT MUST BE INSPECTED PRIOR TO BACKFILLING. IF NOT INSPECTED, TRENCH MAY BE REJECTED.
 - ALL TRENCHES ARE TO BE INSPECTED PRIOR TO BACKFILLING.
 - 18" SEPARATION MUST BE OBTAINED BETWEEN PE GAS PIPE AND POWER CABLE OR TRENCH WILL BE REJECTED.
 - BEDDING AND SHADING MATERIAL MUST BE SMOOTH, FREE OF ROCKS, AND MUST BE ABLE TO SIFT THROUGH A 1/4" SCREEN (SAND RECOMMENDED).

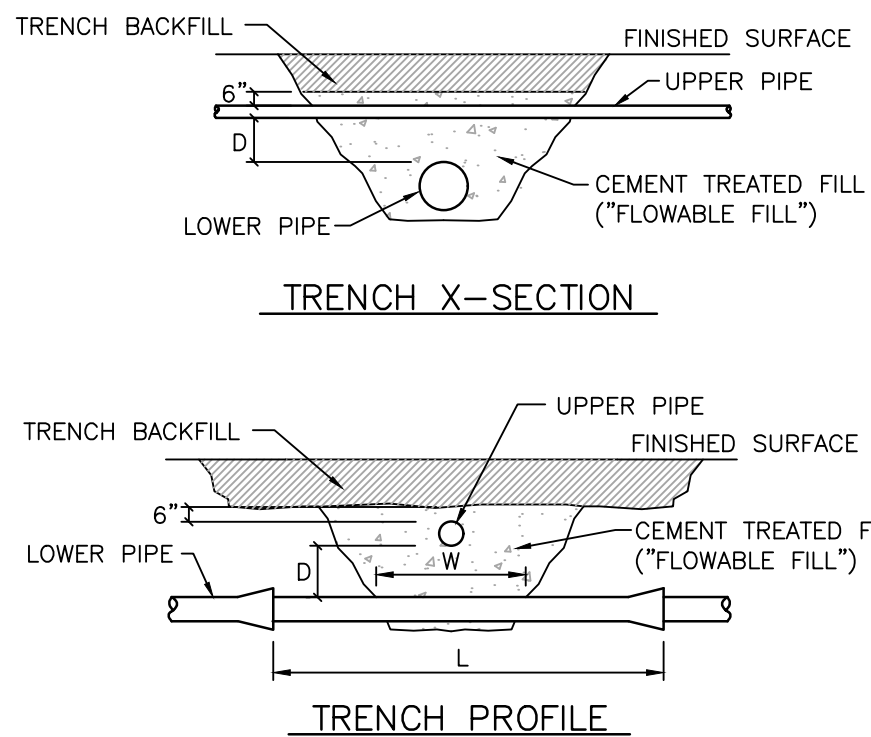
4 DET UTILITY TRENCHING AND SPACING REQUIREMENTS

SCALE: NTS



5 DET PIPE ENTRY DETAIL

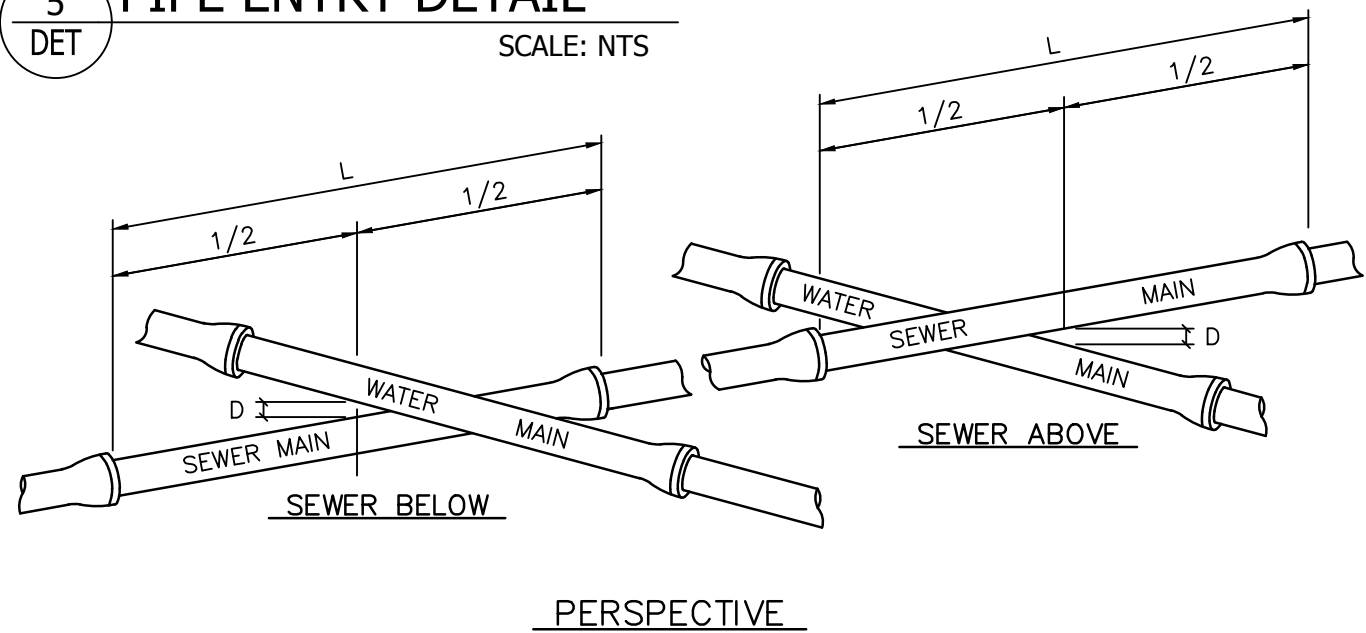
SCALE: NTS



- NOTES:
- CEMENT TREATED FILL ("FLOWABLE FILL") SHALL CONFORM TO WPSS SECTION 02225, PART 2.01B. IF CALLED FOR ON THE PLANS, CONTRACTOR MAY SLEEVE PIPE IN LIEU OF USING FLOWABLE FILL.
 - CEMENT TREATED FILL SHALL BE PLACED FROM BOTTOM OF LOWER PIPE TO 6 INCHES ABOVE THE UPPER PIPE.
 - DIMENSION D (THE VERTICAL SEPARATION BETWEEN THE OUTSIDES OF THE UPPER AND LOWER PIPES) SHALL BE 18 INCHES MINIMUM.
 - DIMENSION W SHALL EQUAL 3D PLUS 1 FOOT.
 - DIMENSION L SHALL EQUAL 20 FEET MINIMUM.
 - WHERE THE MINIMUM REQUIRED CLEARANCES FOR DIMENSIONS D AND L CANNOT BE MAINTAINED, THE SEWER MAIN SHALL BE PLACED WITHIN A SEPARATE SLEEVE.

6 DET WATER/SEWER MAIN CROSSING

SCALE: NTS



REV. 1

1/27/2020

DATE

SURVEYED

ENGINEERED

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APPROVED

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DATE

SURVEYED

ENGINEERED

DRAWN

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
WATER AND DRY UTILITY DETAILS
DEV. SET

JOB TITLE
CORNER OF VINE
445 VINE ST
JACKSON, WY

DRAWING NO
DETAILS
JOB NO
20-001-001

CODE ANALYSIS

2018 International Building Code incl. Amendments adopted by the Town of Jackson, 2018 International Plumbing Code, 2018 International Mechanical Code, 2018 IEEC, 2017 NFPA 70: National Electric Code, 2018 International Fire Code, ICC/ANSI 117.1-2003

Occupancy: R-2/S-2

Construction Type: Type VB

Number of Stories: 2 Above Grade, 1 Below Grade

Max Building Height: 3 stories, not to exceed 35'-0"

Setbacks: 20' Front, 20' Alley, 10' Sides to S and W. Balconies and roofs can encroach beyond setbacks by 4' on sides and rear, 6' at lot front.

Zoning: NM-2

Subdivision: Lot 1, Block 3, Meadowland

AREA CALCULATION

ALLOWABLE FAR: 3247.4 SF

SINGLE BED UNIT: 448 SF

TWO BED UNIT: 898 SF

WITHIN FAR:
(5) SINGLE UNITS + (1) TWO BED UNIT = 3138 SF

2:1 FAR BONUS:
(1) SINGLE UNIT + (1) TWO BED UNIT = 1346 SF

MAIN LEVEL HABITABLE: 2242 SF

UPPER LEVEL HABITABLE: 2242 SF

TOTAL HABITABLE: 4484 SF

BASEMENT NON-HABITABLE: 2240

TOTAL: 6742 SF

GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

03. All interior partitions are framed with 2 x 4 wood studs unless noted otherwise.

04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)

05. See paving plans and interior elevations for dimensions and locations of millwork, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.

06. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules and details to determine rough opening dimensions.

07. Interior doors to be centered in their respective rooms unless dimensioned otherwise.

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10. Where shown, furniture is for reference only and not in contract.

11. Contractor to coordinate location of radon pipe through walls, attic space and roof.

12. All gutters and downspouts are to be heat traced, U.N.O.

13. Where shown, all landscape information is for pricing purposes only and not in contract. Plans and details are to be furnished by owner for construction.

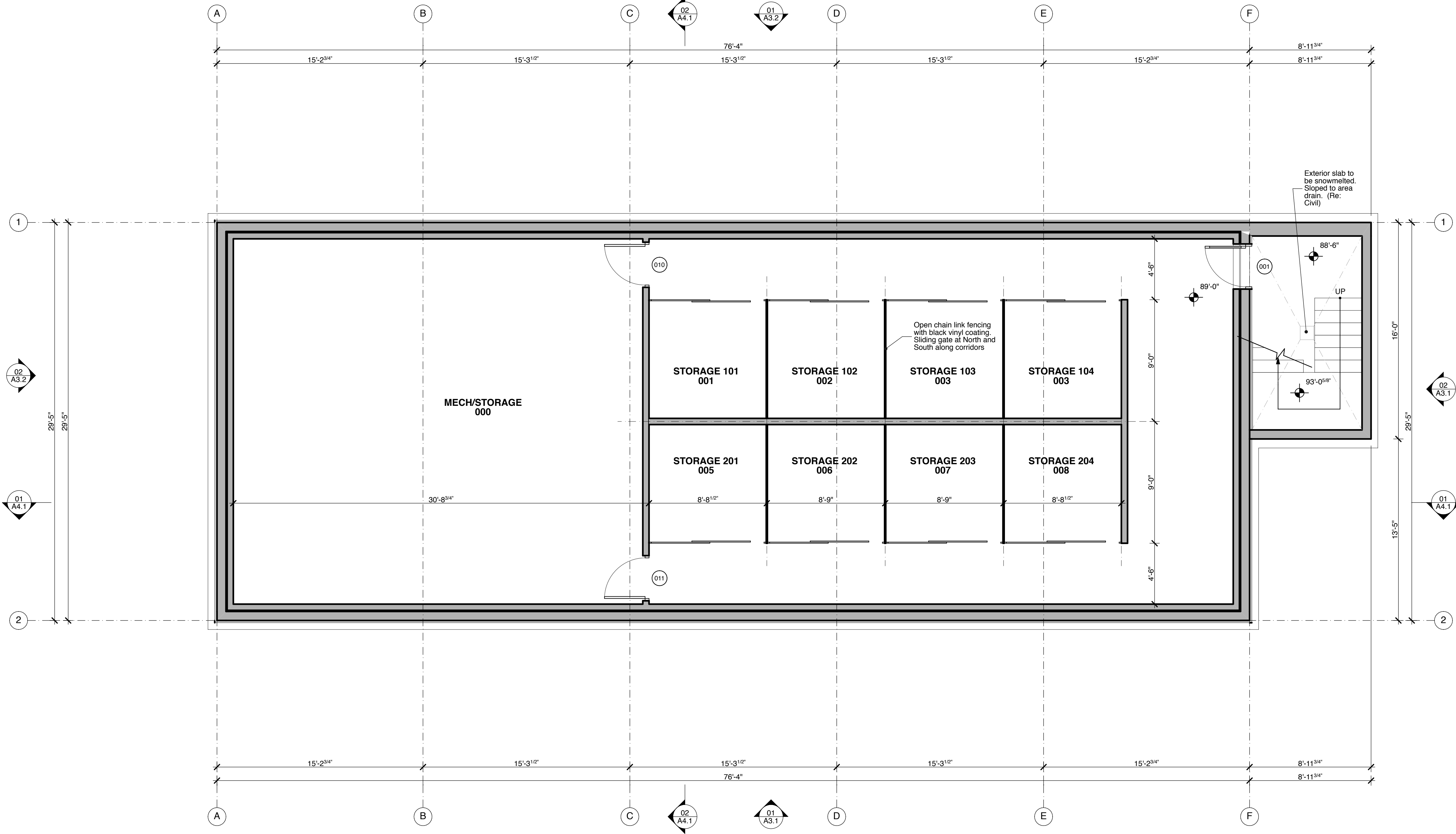
Issue/Revision Date	
01.14.20	SD Pricing Set
02.07.20	TOJ Development Plan

Corner of Vine
445 Vine St, Jackson, WY 83001

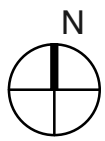
PRELIMINARY - NOT FOR CONSTRUCTION

Basement Plan

A2.0



01 Basment Plan
SCALE: 1/4" = 1'-0"



CODE ANALYSIS

2018 International Building Code incl. Amendments adopted by the Town of Jackson, 2018 International Plumbing Code, 2018 International Mechanical Code, 2018 IEEC, 2017 NFPA 70: National Electric Code, 2018 International Fire Code, ICC/ANSI 117.1-2003

Occupancy: R-2/S-2

Construction Type: Type VB

Number of Stories: 2 Above Grade, 1 Below Grade

Max Building Height: 3 stories, not to exceed 35'-0"

Setbacks: 20' Front, 20' Alley, 10' Sides to S and W. Balconies and roofs can encroach beyond setbacks by 4' on sides and rear, 6' at lot front.

Zoning: NM-2

Subdivision: Lot 1, Block 3, Meadowland

AREA CALCULATION

ALLOWABLE FAR: 3247.4 SF

SINGLE BED UNIT: 448 SF

TWO BED UNIT: 898 SF

WITHIN FAR:
(5) SINGLE UNITS + (1) TWO BED UNIT = 3138 SF

2:1 FAR BONUS:
(1) SINGLE UNIT + (1) TWO BED UNIT = 1346 SF

MAIN LEVEL HABITABLE: 2242 SF

UPPER LEVEL HABITABLE: 2242 SF

TOTAL HABITABLE: 4484 SF

BASEMENT NON-HABITABLE: 2240

TOTAL: 6742 SF

GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

03. All interior partitions are framed with 2 x 4 wood studs unless noted otherwise.

04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)

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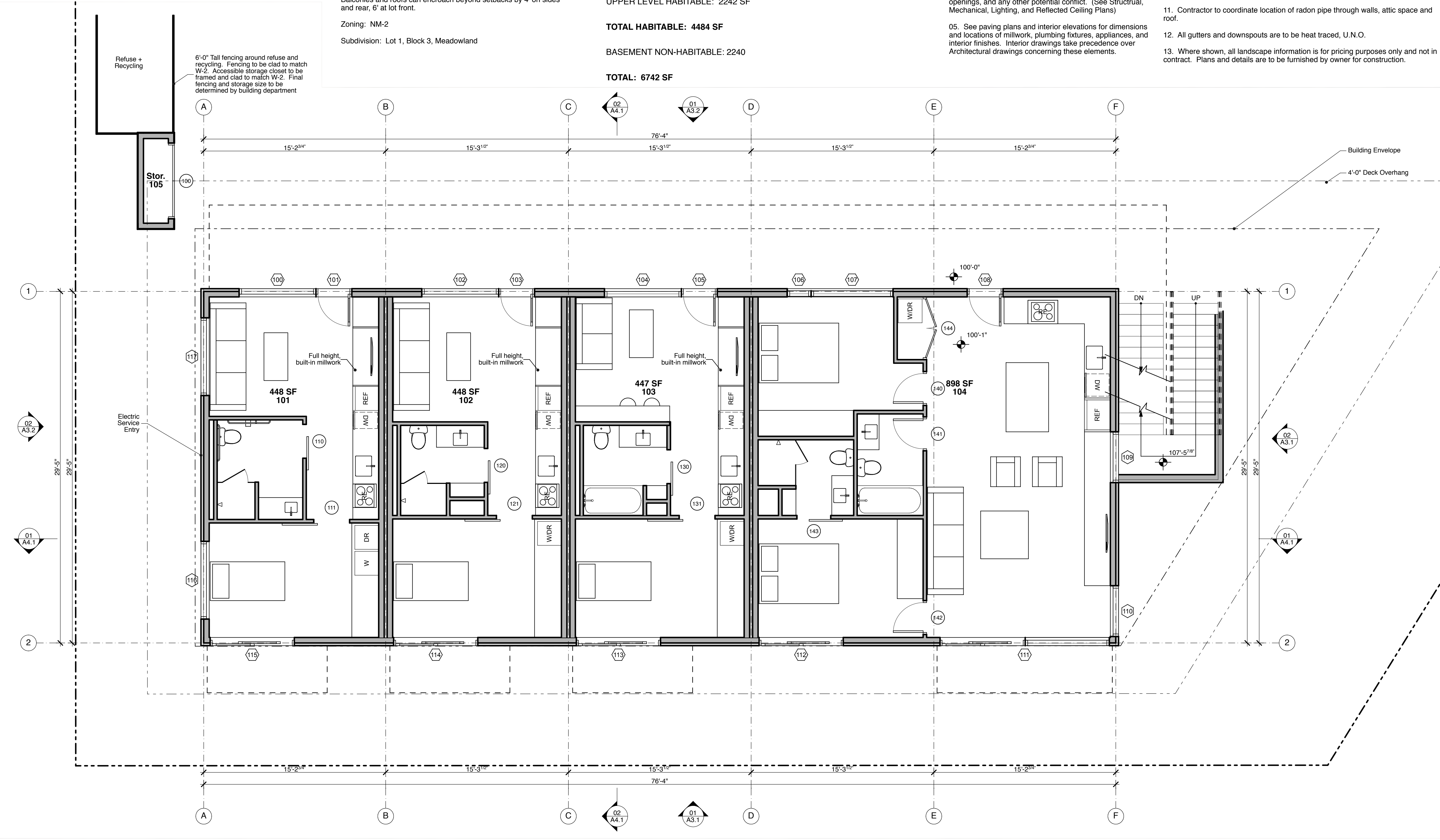
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Corner of Vine PRELIMINARY - NOT FOR CONSTRUCTION
445 Vine St, Jackson, WY 83001

Main Level Plan

A2.1



01 Main Floor Level
SCALE: 1/4" = 1'-0"



CODE ANALYSIS

2018 International Building Code incl. Amendments adopted by the Town of Jackson, 2018 International Plumbing Code, 2018 International Mechanical Code, 2018 IEEC, 2017 NFPA 70: National Electric Code, 2018 International Fire Code, ICC/ANSI 117.1-2003

Occupancy: R-2/S-2

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Zoning: NM-2

Subdivision: Lot 1, Block 3, Meadowland

AREA CALCULATION

ALLOWABLE FAR: 3247.4 SF

SINGLE BED UNIT: 448 SF

TWO BED UNIT: 898 SF

WITHIN FAR:
(5) SINGLE UNITS + (1) TWO BED UNIT = 3138 SF

2:1 FAR BONUS:
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TOTAL HABITABLE: 4484 SF

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Issue/Revision Date	
01.14.20	SD Pricing Set
02.07.20	TOJ Development Plan

Corner of Vine
445 Vine St, Jackson, WY 83001

PRELIMINARY - NOT FOR CONSTRUCTION

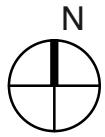
19-4

Upper Level Plan

A2.2



01 Upper Floor Level
SCALE: 1/4" = 1'-0"

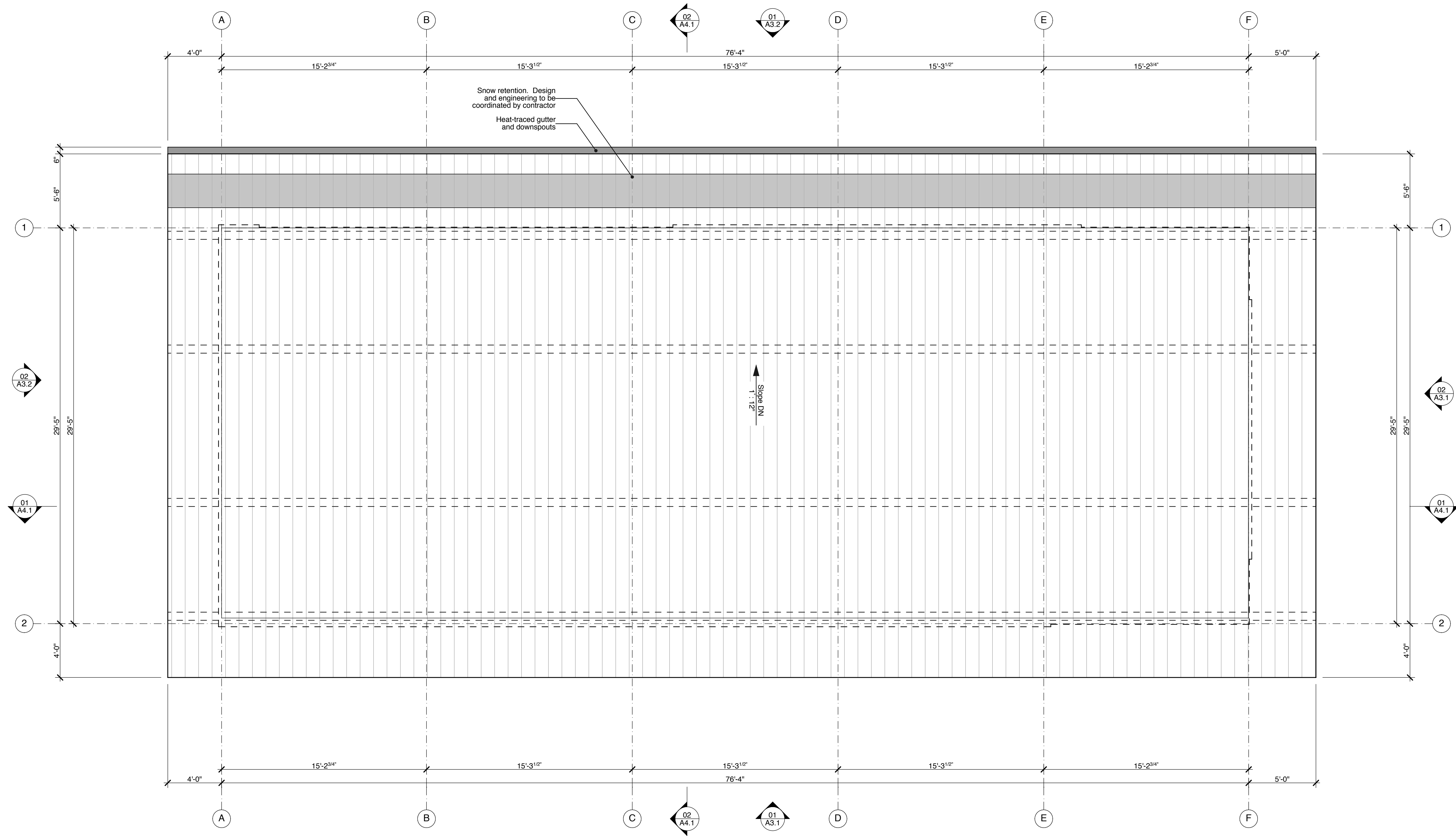


ROOF PLAN NOTES

01. Snow retention system to be Sno Bar. System quantities and layout to be fully engineered by manufacturer in compliance with snow loads and roof pitch.
02. Re: Structural for steel fascia requirements. All seams to be fully welded and ground smooth. Refer to structural for expansion joint requirements.
03. See Details for Typ. Roof Penetration.
04. All gutters and downspouts are to be heat traced, U.N.O.

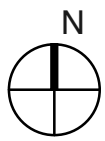
GENERAL PLAN NOTES

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01 Roof Level

SCALE: 1/4" = 1'-0"



Issue/Revision Date	
01.14.20	SD Pricing Set
02.07.20	TOJ Development Plan

**PRELIMINARY - NOT FOR
CONSTRUCTION**

Corner of Vine

445 Vine St, Jackson, WY 83001

19-4

Roof Plan

A2.3

ASSEMBLY FINISH TYPES

- F-1

Concrete slab-on-grade, acid etched and sealed
- F-2

Wood plank, or porcelain tile on wood framed structure
- F-3

Open wood plank decking
- W-1

Concrete foundation wall
- W-2

Metal siding, Bonderized steel
- W-3

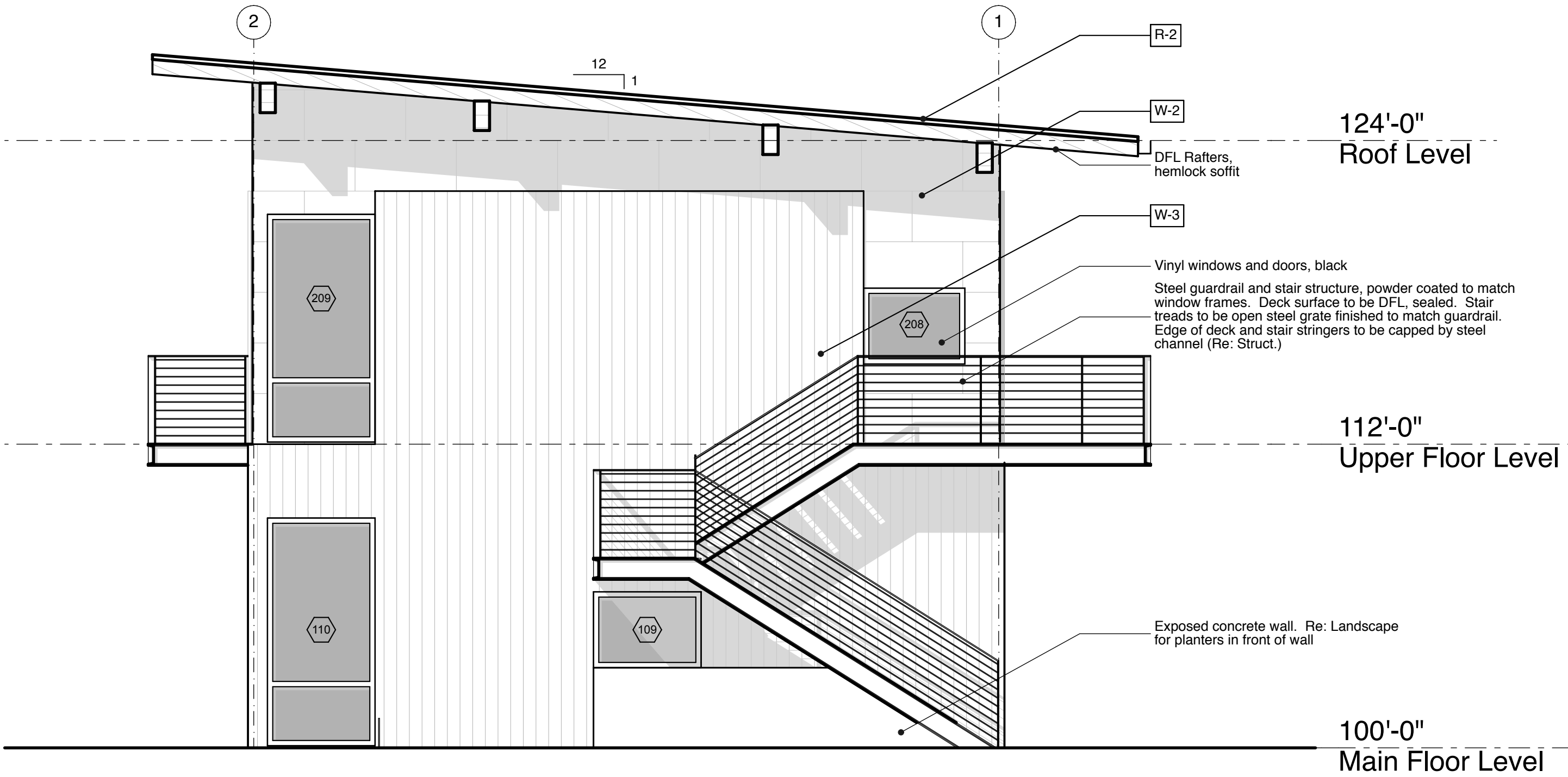
Wood siding, Natural cedar, STK
- W-4

Interior Party Wall
- W-6

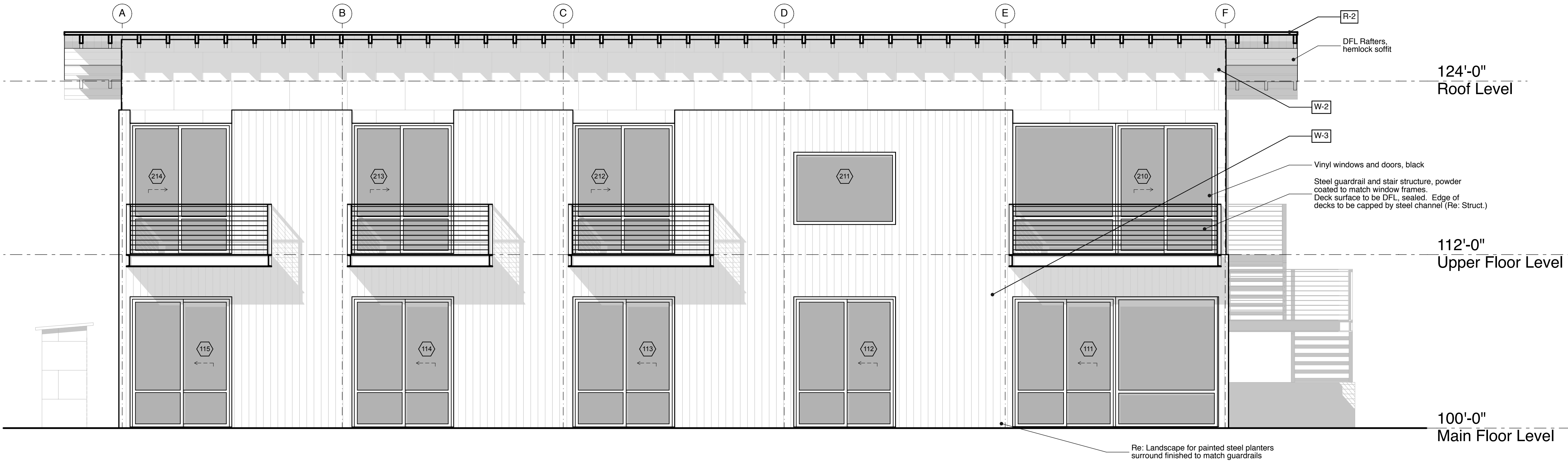
Interior 2x wall
- R-1

Standing seam membrane Roof
- R-2

Standing seam membrane roof at eaves, to match R-1



02 East Exterior Elevation
SCALE: 1/4" = 1'-0"



01 South Exterior Elevation
SCALE: 1/4" = 1'-0"

ASSEMBLY FINISH TYPES

- F-1

Concrete slab-on-grade, acid etched and sealed
- F-2

Wood plank, or porcelain tile on wood framed structure
- F-3

Open wood plank decking
- W-1

Concrete foundation wall
- W-2

Metal siding, Bonderized steel
- W-3

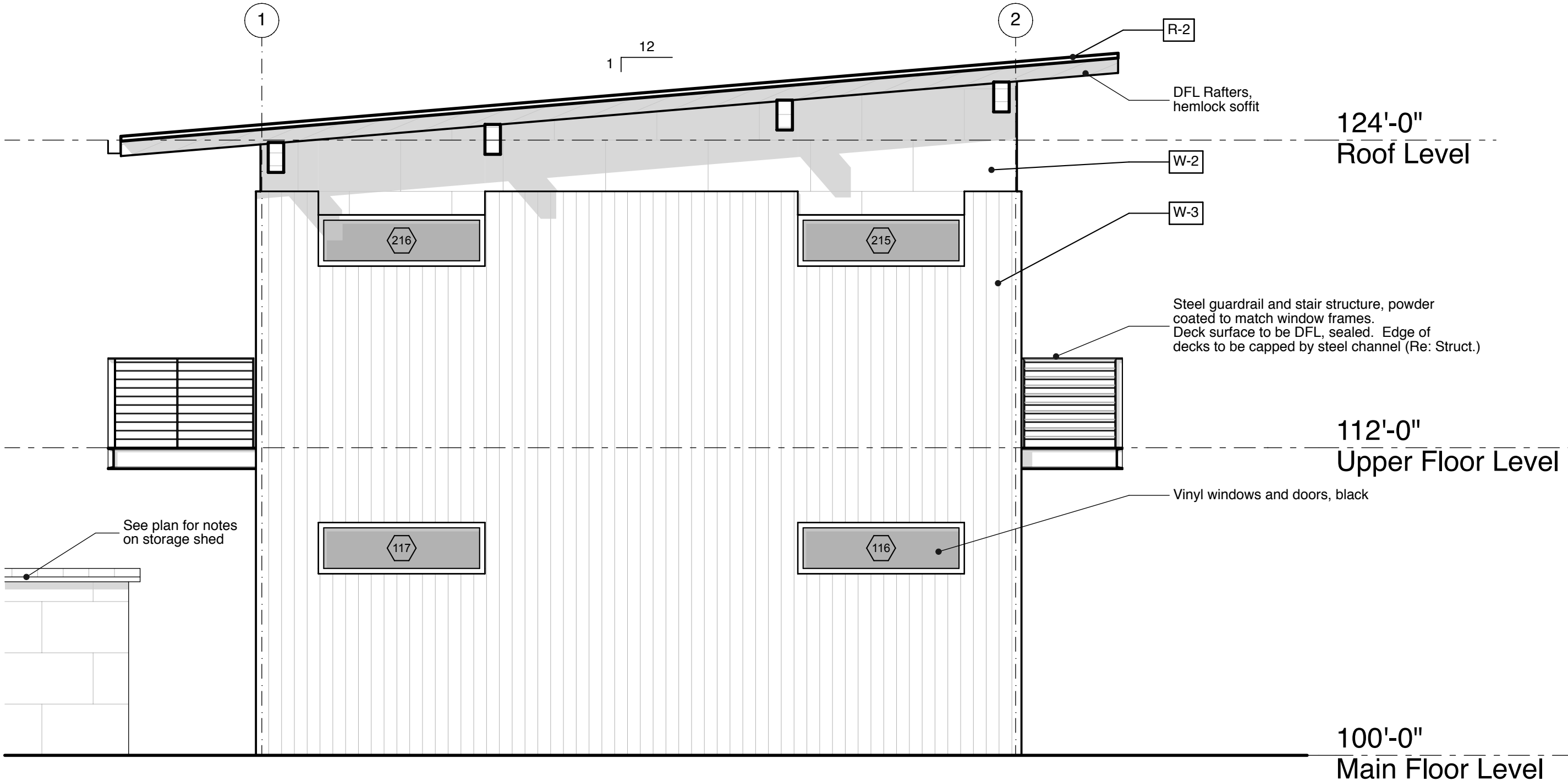
Wood siding, Natural cedar, STK
- W-4

Interior Party Wall
- W-6

Interior 2x wall
- R-1

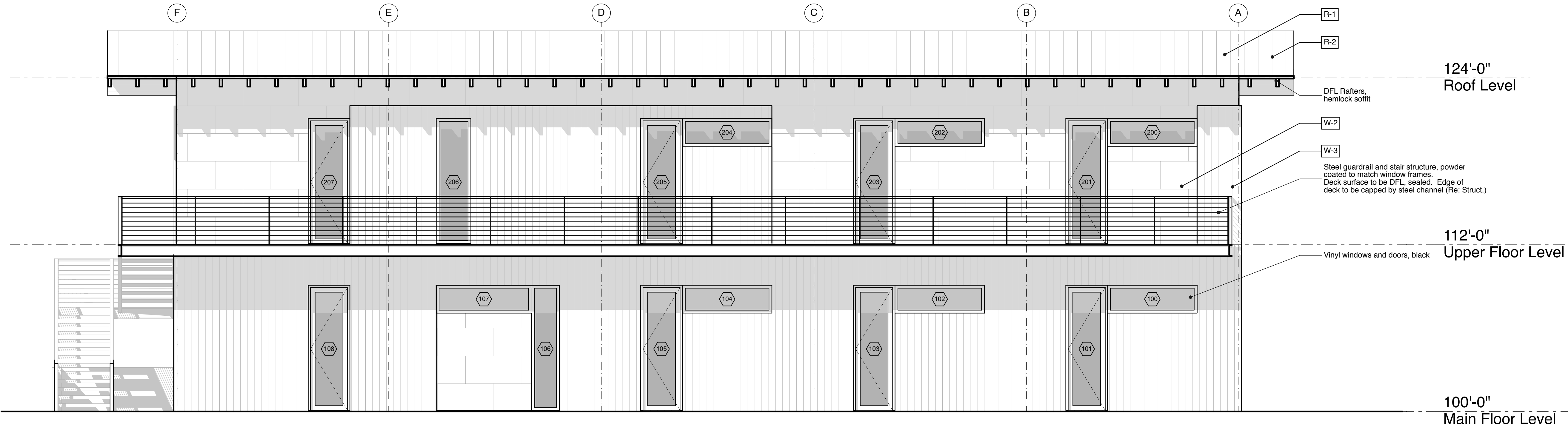
Standing seam membrane Roof
- R-2

Standing seam membrane roof at eaves, to match R-1



02 West Exterior Elevation

SCALE: 1/4" = 1'-0"



01 North Exterior Elevation

SCALE: 1/4" = 1'-0"

Issue/Revision Date	
01.14.20	SD Pricing Set
02.07.20	TOJ Development Plan

Corner of Vine
445 Vine St, Jackson, WY 83001

PRELIMINARY - NOT FOR CONSTRUCTION

Exterior Elevations

A3.2

ASSEMBLY TYPES

F-1 - Floor Assembly: Concrete Slab on Grade @ Basement
Concrete slab (Re: Struct.) on vapor barrier taped and sealed at all seams, penetrations, etc., anchored 12" up foundation wall, 2" semi-permeable rigid insulation, on 4" free draining gravel between footers on structural fill or native soil (Re: Geotech Report). Provide thermostatically controlled, mechanically ventilated basement. (Re: Mech.) Basement must be vented during construction. Provide radon piping vented through roof (Re: Mech.).

F-2 - Floor Assembly: Interior Floor Over Conditioned Space/ Basement
1" finished floor build-up (See Finish Schedule).

@ Tile Floor: Tile / mortar bed on tile underlayment

@ Wood Floor: 3/4" solid wood, on polymer underlayment

on continuous sound control mat, on plywood floor sheathing (Re: Struct.) on pre-manufactured wood "I" joists (Re Struct.) on furred ceiling framing. Provide batt insulation for sound isolation. Floor-ceiling assembly to have a minimum impact insulation class rating of 50. Provide resilient channels where over bedrooms. See Finish Schedule for ceiling finishes. Provide 1 HR fire rating between Basement and Main Level. Provide 1/2 HR fire rating between Main Level and Upper Level. Provide Fireblocking per IBC Section 718.2

F-3 - Floor Assembly: Wood Deck Over Exterior Space
1x wood decking, on deck framing (Re: Struct.). Assembly to be fire retardant

W-1 - Wall Assembly: Concrete Foundation @ Basement / Retaining Walls
2" continuous drainage / insulation board (R-10 min.) on fluid applied waterproofing, on reinforced concrete foundation wall (Re: Struct.), on 1/2" air space, on 2x framed fur wall w/ closed cell spray foam insulation (R-30 min.). See finish schedule for interior wall finish. Provide capillary break between stem wall and footing. Provide continuous perimeter drain (Re: Civil for drain specs)

W-2 - Wall Assembly: Metal Paneling @ Exterior
Bonderized Steel w/ flatlock assembly, on dimpled drainage / ventilation mat, on vertically grooved weather barrier, on plywood wall sheathing, on wood stud wall framing (Re: Struct.), w/ closed cell spray foam insulation (R-30 min.) See finish schedule for interior wall finish.

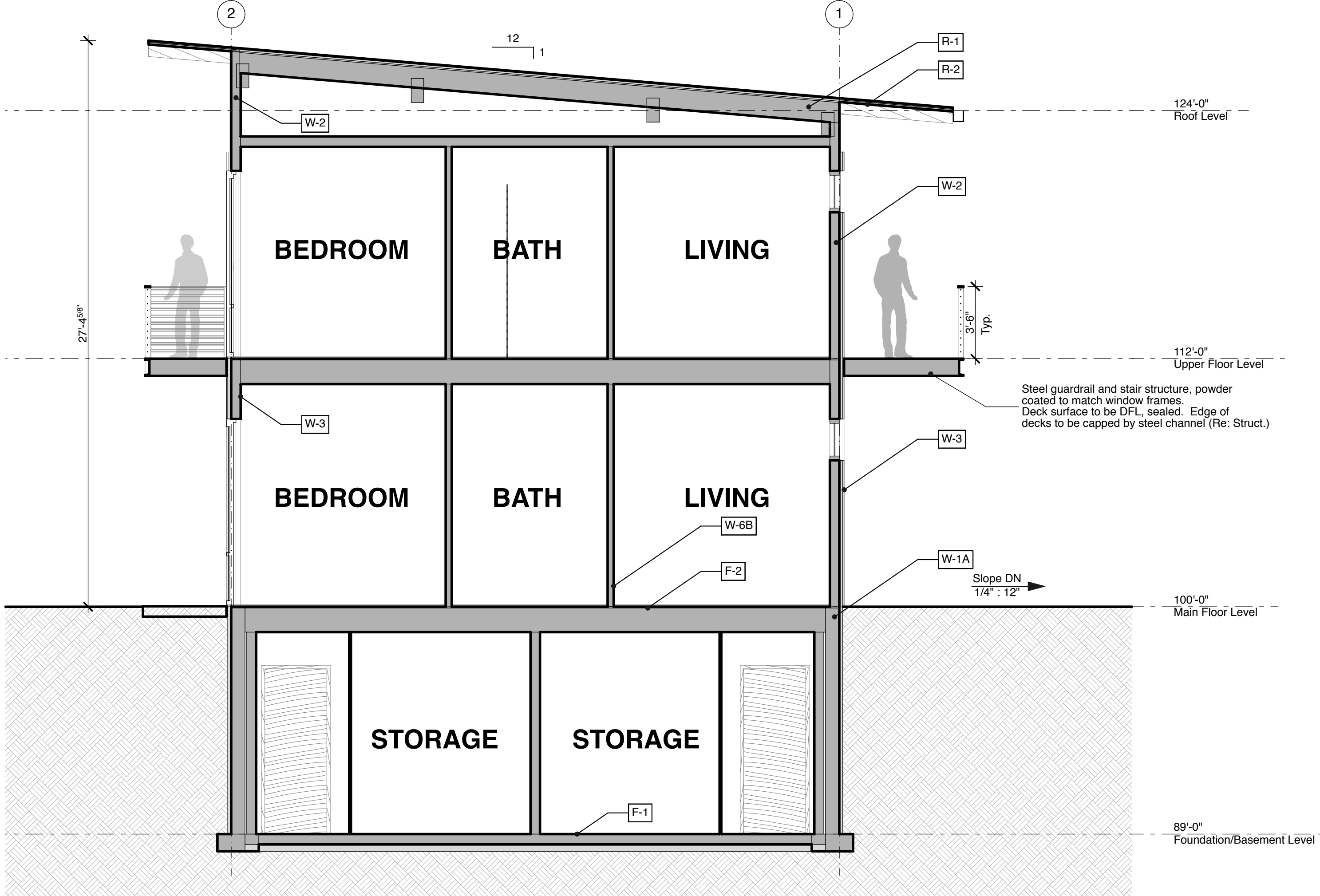
W-3 - Wall Assembly: Wood Siding @ Exterior
Vertical 1x6 STK Cedar siding w/ countersunk fasteners, on dimpled drainage / ventilation mat, attached to 1x3 battens with air gap between, on rigid insulation (R-5 minimum), on vertically grooved weather barrier, on plywood wall sheathing, on wood stud wall framing (Re: Struct.), w/ closed cell spray foam insulation (R-30 min.) See finish schedule for interior wall finish.

W-4 - Wall Assembly: Party Wall - (2) One Hour UL Listed (U-344) Walls:
Refer to UL Listing for specifics. Wall to have a minimum STC rating of 50.
Wall 1: 5/8" Type X gypsum board, on sound isolation membrane, on wood stud wall framing (Re: Struct.), with mineral wool insulation (R-21 min.), on plywood sheathing installed w. long dimension of sheet vertical, on 5/8" Type X gypsum board.
Wall 2: Same as above.
Provide 3/4" gap between walls. Fill gap below roof sheathing with 12" deep rigid insulation.

W-6 - Wall Assembly: Interior
See Interior Finish Schedule for interior finish material, on 2x stud framing, w/ full depth sound batt insulation. Provide sound isolation membrane at exterior face of wall framing at all bathrooms, bedrooms and mechanical spaces. Provide resilient channels under finishes at perimeter of all mechanical spaces.

R-1 - Roof Assembly: Low Slope Membrane Roof Over Conditioned Space
Fully adhered single ply PVC membrane (basis of design, Sika Sarnifil) with decorative ribs, on structural sheathing, on roof framing (Re: Struct.) w/ closed cell spray foam insulation (R-60 min.). Provide Grace Ice and Water Shield on roof sheathing at eaves to 6'-0" minimum inside exterior wall line. See Finish schedule for interior ceiling finish.

R-2 - Roof Assembly: Low Slope Membrane Roof at Eaves
Fully adhered single ply PVC membrane with decorative ribs, on structural sheathing, on roof framing (Re: Struct.) w/ 1x T&G hemlock soffit. Sheathing and framing to be fire retardant. Provide applied gutter w/ continuous heat tape (Re: Electrical). See Roof Plan for locations. Provide Grace Ice and Water Shield on roof sheathing at eaves to 6'-0" minimum inside exterior wall line



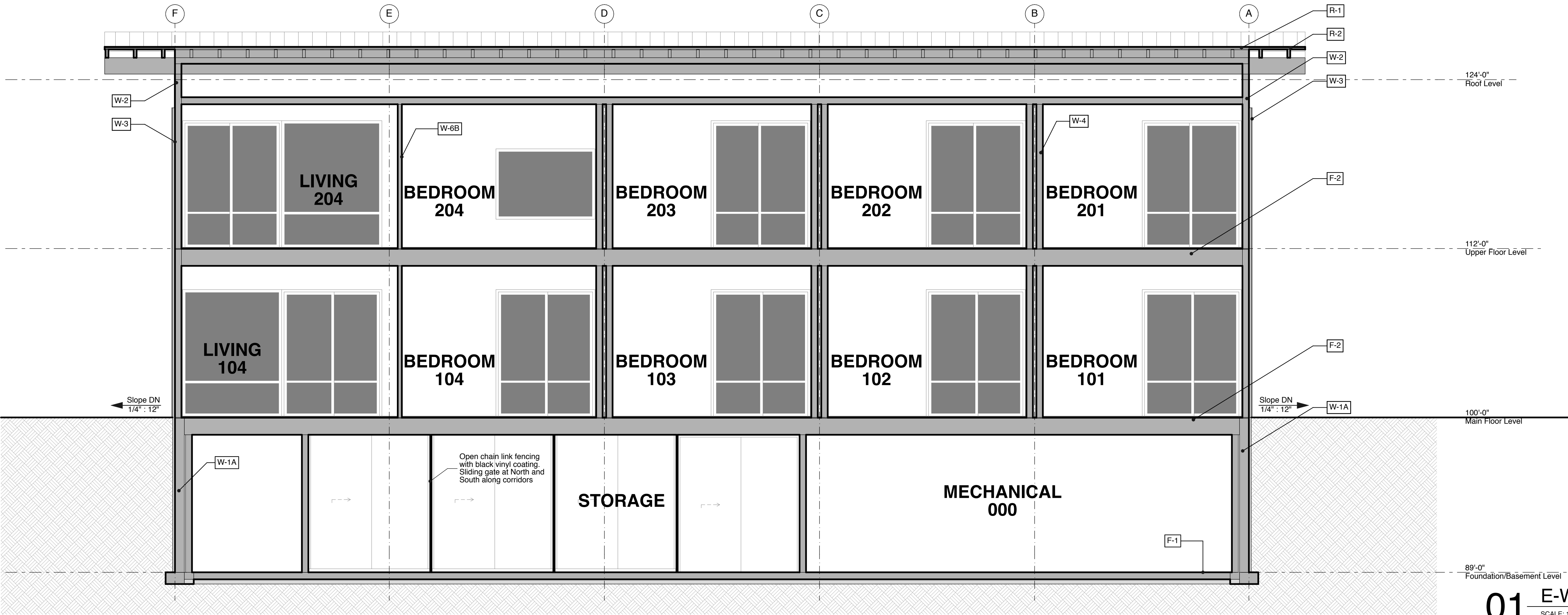
ASSEMBLY FINISH TYPES

- F-1** Concrete slab-on-grade, acid etched and sealed
- F-2** Wood plank, or porcelain tile on wood framed structure
- F-3** Open wood plank decking
- W-1** Concrete foundation wall
- W-2** Metal siding, Bonderized steel
- W-3** Wood siding, Natural cedar, STK
- W-4** Interior Party Wall
- W-6** Interior 2x wall
- R-1** Standing seam membrane Roof
- R-2** Standing seam membrane roof at eaves, to match R-1

UNTITLED ARCHITECTURE
c. Brent.Li@untitledarch.com
c. 571.438.8877

Issue/Revision Date
01.14.20 SD Pricing Set
02.07.20 TOJ Development Plan

02 N-S Building Section
SCALE: 1/4" = 1'-0"



01 E-W Building Section
SCALE: 1/4" = 1'-0"

Corner of Vine
445 Vine St, Jackson, WY 83001

Building Sections

A4.1

LETTER OF AUTHORIZATION

Vine 445, LLC (James Farmer, Manager) , "Owner" whose address is: PO Box 1325,

Jackson, WY 83001

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

, as the owner of property
more specifically legally described as: 445 Vine Street, Jackson, WY 83001.
Lot 1, Block 3 of the Meadowland Addition to the Town of Jackson, Plat #127

(If too lengthy, attach description)

HEREBY AUTHORIZES Kenneth E Rizzotti, or assigns as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing
on behalf of a corporation, partnership, limited liability company or other entity, the
undersigned swears that this authorization is given with the appropriate approval of such
entity, if required.

OWNER:

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: PARTNER

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or
other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Lincoln County)SS.
)

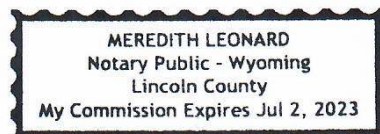
The foregoing instrument was acknowledged before me by James Farmer this 4th day of
November, 2019.

WITNESS my hand and official seal.

Meredith Leonard
(Notary Public)

My commission expires:

(Seal)



3.12.2020

Town of Jackson Planning Dept.
Attn: Brendan Conboy

RE: Project #P2—025; Address: 445 Vine Street, Jackson, WY 83001

Brendan,

It has come to my attention that there was an inaccuracy in the Public Space discussion in the Design Guideline Narrative in the Development Plan originally submitted to your department (page 6, paragraph A). For clarification, there is no public space or easement for public space on this proposed development site. The intent of the Public Space discussion was to provide a visually attractive landscaping and to minimize the impact of the improvements for the public to view the property from Vine Street, the public alley along the north side of the property and from nearby properties.

I apologize for this inaccuracy, and thank you for allowing me to clarify this issue.

Sincerely,

DocuSigned by:



3/12/2020

AC5801CBB14C449

Ken Rizzotti, Manager HR 28, LLC

Housing Mitigation Plan

updated 6/11/19

Development of a new house, hotel, or commercial space generates the need for employees. The construction workforce builds the space, the commercial workforce or residential service workforce works in the space, and first responders are needed to protect the space. Only about 27% of the employees generated by development can afford housing in the community, but the community's "community first" character goal is that 65% of employees live locally. To bridge this affordability gap, each development is required to include affordable workforce housing proportional to the employees it generates. These housing mitigation requirements are established in Division 6.3 of the Land Development Regulations. This worksheet is intended to assist in meeting the requirements for a project. However, an error in the worksheet does not amend the actual standard; if you find an error please notify the Planning Department. Fill in the highlighted cells, all the other cells will autopopulate.

Calculating the Requirement (Sec. 6.3.2 & 6.3.3)

Step 1: Location

Town of Jackson

The applicable regulations vary by jurisdiction please identify the location of your project using the above dropdown options.

The required housing is based on the existing and proposed use of the site. Step 2 is to enter the existing use and Step 3 is to enter the proposed use. Section 6.3.2 of the LDRs establishes the applicability of the affordable workforce housing standards and Section 6.3.3 establishes the specifics on calculation of the requirement. Enter each use in its own row, add rows if needed. If a building has multiple units with the same use, describe each unit in its own row. (For example: if a duplex is composed of a 2,300 sf attached unit and a 1,700 sf attached unit, put each unit in its own row do not put in 4,000 sf of attached single-family.) If a unit type (e.g. apartment floor plan, or commercial tenant space) is replicated exactly multiple times, you may use the "Use Quantity" column to avoid adding multiple rows.

Step 2: Existing Development

Housing is only required for new development. Please describe the existing use of the site so that it can be credited from the housing requirement. The definition of existing use is Section 6.3.2.A.1 of the LDRs. Generally, the existing use to enter is the use with the highest housing requirement that either existed in 1995, or has been permitted since 1995. Please attach proof of existence.

Existing Use (Sec. 6.3.2.A)	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Detached Single-Family Unit (Unres)	$0.000017 * sf + (Exp(-15.49 + 1.59 * Ln(sf))) / 2.176$		820	1	0.018

Existing Workforce Housing Credit 0.018

Step 3: Proposed Development

Please describe the proposed use of the site to determine if affordable workforce housing is required as part of the development. Describe the end result of the proposed development. (For example: in the case of an addition do not enter the square footage of the addition, enter the size of the unit upon completion of the addition.)

Proposed Use	Housing Requirement (Sec. 6.3.3.A)	Use Size: bedrooms	Use Size: habitable sf	Use Quantity	Housing Required
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * Ln(sf))) / 2.176$		448	3	0.039
Apartment (Unrestricted)	$0.000017 * sf + (Exp(-14.17 + 1.59 * Ln(sf))) / 2.176$		898	2	0.063
Workforce Housing Bonus Unit	exempt		448	3	0.000

Affordable Workforce Housing Required: 0.084 units

Fee-in-Lieu Amount: \$ 17,452.91

If the amount of required affordable workforce housing is less than one unit, you may pay the above fee in-lieu of providing the required housing. If you elect to pay the fee, your Housing Mitigation Plan is complete. If the requirement is greater than one unit, or you would like to provide a unit to meet the requirement, please proceed to the [Unit Type Sheet](#).

AREA CALCULATION

ALLOWABLE FAR: 3247.4 SF

SINGLE BED UNIT: 448 SF

TWO BED UNIT: 898 SF

WITHIN FAR:

(3) SINGLE UNITS + (2) TWO BED UNIT = 3140 SF

2:1 FAR BONUS:

(1) SINGLE UNIT + (2) SINGLE UNITS = 1344 SF

MAIN LEVEL HABITABLE: 2242 SF

UPPER LEVEL HABITABLE: 2242 SF

TOTAL HABITABLE: 4484 SF

BASEMENT NON-HABITABLE: 2240

TOTAL: 6742 SF

PLANNING

Project Number	P20-025	Applied	2/10/2020	STOL
Project Name	Dev Plan - 445 Vine Street	Approved		
Type	DEVPLAN	Closed		
Subtype	CONDO/TOWNHOUSE	Expired		
Status	STAFF REVIEW	Status		
Applicant	HR28, LLC	Owner	VINE 45, LLC	
Site Address		City		State Zip
445 VINE STREET		JACKSON	WY	83001
Subdivision		Parcel No		General Plan
MEADOWLAND		22411634233001		

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact					
Notes					
Building	APPROVED W/CONDITI	2/10/2020	3/2/2020	2/13/2020	
Kelly Sluder					
(2/13/2020 9:25 AM KS)					
Building plans must meet the current adopted building codes					
Fire	APPROVED W/CONDITI	2/10/2020	3/2/2020	2/24/2020	Notes in DEV
Kathy Clay					
My comments are incorporated in the proposed plan. They called and talked to me first. They can be found under "Water System" and I have approved their plan.					
-KC					
Joint Housing Dept	APPROVED W/CONDITI	2/10/2020	3/2/2020	2/13/2020	See Notes
Stacy Stoker					
(2/13/2020 9:57 AM SAS)					
The Workforce housing units will be required to comply with the Livability Standards in the Housing Department Rules and Regulations. A Livability Standard Questionnaire shall be completed and submitted to the Housing Department for approval prior to submittal for building permit.					
Prior to issuance of Certificate of Occupancy, the Housing Department shall hold a compliance meeting with the applicant, inspect the units, and record a Special Restriction on each of the Workforce Housing units. The applicant will complete a Deed Restriction Worksheet and submit it to the Housing Department, and the Housing Department will draft the restriction to be recorded. The applicant will be responsible for paying the recording fees.					
Legal	APPROVED W/CONDITI	2/10/2020	3/2/2020	3/2/2020	See Notes
Lea Colasuonno					
(3/2/2020 6:47 PM LC)					
1. The narrative states the project includes a "... mini' park area for both residents and passing pedestrians" and that "Location: Public space is located on the East side of the building where it is out of the shadow of surrounding buildings and is able to take advantage of southern sun exposure through the tree canopy."					
a. An easement for public access and appropriate marking on the plat is required to ensure the public pedestrian access in accordance with this statement.					
2. It appears on the drawing that the proposed sidewalk is partly within 445 Vine Street.					
a. If this is an accurate representation of the sidewalk location, an easement for public access and appropriate marking on the plat is required to ensure the public sidewalk access in accordance with this drawing.					
Parks and Rec	NO COMMENT	2/10/2020	3/2/2020	2/13/2020	
Steve Ashworth					
(2/13/2020 2:39 PM STOL)					
No comment from P&R regarding P20-025, 445 Vine St.					

Project Reviews

Report By: Brendan Conboy

Type of Review Contact Notes	Status	Dates			
		Sent	Due	Received	Remarks
Pathways Brian Schilling P20-025, 445 Vine St. DEV Comments from Teton County/TOJ Pathways Department Status: approved w/conditions	APPROVED W/CONDITI	2/10/2020	3/2/2020	3/4/2020	see notes
- Sidewalk/Street Frontage - Vine St. currently does not have any accommodations for pedestrians. This insufficient condition can only be remedied by ensuring that adequate pedestrian sidewalks are provided at every redevelopment or new development opportunity. - TOJ Planning documents (Community Streets Plan and the LDRs) specify a detached sidewalk. This is what should be provided in order to set the standard for the street. The current ROW appears to be 38' at its narrowest. A 5'-wide detached sidewalk would require a maximum of a 5' easement on the property (assuming an 11' travel lane, 2' curb and gutter, 6' furnishing zone, 5' sidewalk). - The sidewalk will provide a significant and immediate benefit to the residents of the proposed development, and will provide a benefit to the public as additional properties redevelop. - The sidewalk should extend north to the north property line at the intersection with the alley. - Bicycle Parking - Bike racks shall not be co-located with the dumpster. Bike parking areas need to be located so that they are convenient to the destinations/entries they serve, i.e. near the front door, not out back with the trash. - Local experience indicates that people park their bikes directly adjacent to their units, which supports including racks at locations convenient to the entry/access point for each individual unit. I.e. put a rack within easy access to each unit, otherwise there will be bikes stored haphazardly all over the place. - Please include a detail (or details) for the rack style. Single inverted-u racks (either individually mounted or mounted on rails) are the standard design. "Wave," "ribbon," and "toaster" style racks shall not be used. - Given the location, type of use, and parking plan of the proposed development, staff expects that there will be a high demand for bicycle parking. Staff recommends that at least 10 bike parking spaces be provided, matching the number of car parking spaces. - Staff supports credits for bike parking towards the development's overall parking requirement. - The bike parking could be a mix of "short-term" and "long-term" or, in this case, because there storage units, simple U-racks could serve as both short and long-term. - Short-term parking typically describes one or more "single inverted-U" racks located near the entrance it serves to be used for visitor or guests parking for a few hours or less. In this case the U-racks would mostly serve the seasonal/daily needs of residents but could also be used by guests to the development. "Wave," "ribbon," and "toaster" style racks shall not be used. Bike parking should be hardscaped and should not obstruct pedestrian flow. - Long-term parking typically describes a secure area for employees and long-term storage by residents that need to park for more than a few hours—i.e. all-day or overnight). For this application, staff feels that the storage units will provide sufficient long-term bike storage, so no other measures are needed. - The bike parking should be constructed on a concrete pad. A grass or dirt surface will quickly deteriorate into mud from foot traffic during wet seasons and will be difficult to keep clear of snow. Also a concrete surface will provide a more secure mounting surface for the racks and will discourage theft. - Rack type and storage locations should be shown on site plans. - Staff supports including the bike parking towards the landscape surfacing requirement so that switching from grass to hardscape for the bike parking does not detract from the applicant's landscape requirements. Conversion of a car parking spot to bike parking would also be supported. - Jackson Hole Community Pathways will be happy to provide additional background information and guidance on site selection, layout, rack selection, and rack installation.					
Planning Brendan Conboy	APPROVED W/CONDITI	2/10/2020	3/2/2020	3/4/2020	Staff report available 3/13
Police Todd Smith (2/11/2020 9:18 AM STOL) Comment: I continue to be concerned about low number of parking spaces for various projects and how it ends up impacting winter time parking that is pushed to the streets. No other concerns. Thanks, Todd	APPROVED W/CONDITI	2/10/2020	3/2/2020	2/11/2020	

Type of Review Contact Notes	Status	Dates			Remarks
		Sent	Due	Received	
Public Works Brian Lenz (3/11/2020 9:46 AM BTL) Development Plan – Approved with Conditions	APPROVED W/CONDITI	2/10/2020	3/2/2020	3/11/2020	see notes
P20-025 ADDRESS: 445 Vine St. OWNER: Vine 45, LLC APPLICANT: HR28, LLC – Ken Rizzotti					
3/11/2020 Brian Lenz, 733-3079					

DATE OF SUBMITTAL: 3/9/2020
DATE OF MATERIALS: 2/7/2020 (Landscape), 1/22/2020 (Civil), 2/7/2020 (Arch)

The engineering division has reviewed your application for a Development Plan submitted on and with application materials as dated above.

*The following comments are being provided for use in preparation of future applications and are required for sufficiency.

CONDITONS OF APPROVAL

- Existing sewer service should be re-used or replaced at its current location.
- Provide a location for the water entry where the water enters the building on the east side. Coordinate fire riser room and size with the fire marshal.
- Town of Jackson records indicate the water main in Vine St. is 4 inches in diameter. on Vine. Records indicate a 10-inch main on Kelly Ave. at Vine, and an 8-inch main on Karns at Vine. The demand analysis conservatively used the upper M22 curve, but the lower curve for apartments should be adequate, at design engineer's discretion. Revise water demand analysis for the actual site conditions to verify adequate flows are available. Developer is responsible for the costs to upgrade the line to their connection.
- Stormwater Calculations: Total area for the "south lot" does not match the total area of the site. Verify and revise stormwater calculations as necessary. Provide final stormwater calculations with the building permit application.
- In order to provide the existing level of service and access to the alley, Public Works recommends owner provide an access easement on the north-east corner of the lot to maintain the existing access radius. This will benefit the residents of the new development.
- A Development Agreement with the Town regarding the design and construction of the sidewalk, buffer strip, and curb should be completed prior to Building Permit issuance.

The following code sections are provided for review and compliance with future applications:

TOJ CODE

A construction-staging narrative shall be submitted for review and approval with the Development Plan application.

Plans provided shall show all work to be completed within the Town's right-of-way.

5.7 GRADING, EROSION CONTROL, AND STORMWATER

5.7.2 Grading Standards: Provide a grading plan that shows compliance with this section. Plan shall include existing and proposed site contours with elevation labels, spot elevations, high and low points, grade breaks. Provide easements for grading proposed on adjacent properties.

5.7.3 Erosion Control Standards: Provide an erosion control plan that shows compliance with this section.

5.7.4 Stormwater Management Standards: Provide an erosion control plan that shows compliance with this section.

6.2 PARKING AND LOADING STANDARDS

6.2.2 Required Parking and Loading: Provide a plan that shows the proposed parking in compliance with this section. Include location and dimension of parking spaces, accessible spaces, including van accessible spaces, and bicycle parking. For uses that require deliveries, show the proposed loading facilities.

6.2.5 Off-Street Parking and Loading Design Standards: Provide a parking plan in compliance with this section. Include surface materials and drainage plans, access and circulation, and snow storage.

Project Reviews

Report By: Brendan Conboy

Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
Contact					
Notes					
6.4 OPERATIONAL STANDARDS					
6.4.1 Outside Storage: Provide a Construction Management Plan / Narrative, for any offsite storage address compliance with this section.					
6.4.3 Noise: Provide a statement to address compliance with this section.					
6.4.4 Vibration: Provide a statement to address compliance with this section.					
7.7 – REQUIRED UTILITIES					
7.7.2 Potable Water Supply:					
1. Provide a water supply plan and estimated average day, maximum day, and maximum hour, required fire flows, and per capita maximum daily demands. Demands shall be determined by one of the following: Wyoming DEQ Chapter 12 Section 8 (equivalent per capita water use shall be at least 125 gpd and 340 gpd for average and maximum day respectively); Wyoming DEQ Chapter 25 Tables 1 and 2 with consumption and irrigation factored in, metered water supply data from another development where similar water demands have been demonstrated, AWWA M22 method, or other Town Engineer approved source.					
2. Provide right-of-way or easements as required, 30 feet minimum width with 10 feet minimum to either side.					
7.7.3 Sanitary Sewer System:					
1. Provide a sanitary sewer wastewater plan and estimated average day, maximum day, and peak hour for the design of the project, per capita design flows, extraneous flows, and industrial and/or commercial waste volumes. Volumes shall be determined by one of the following: Wyoming DEQ Chapter 25 Tables 1 and 2; metered water supply data from another development where similar water demands have been demonstrated; or other Town Engineer approved source.					
7.7.4 Irrigation System:					
1. Provide an irrigation plan when the system is for the entire development or the system will be owned by the Town. For all systems provide the irrigation water demand, type of backflow preventer, location, and whether irrigation will be metered separately from domestic.					
2. A Wyoming Department of Transportation license is required for irrigation systems and landscaping located within the WYDOT right-of-way.					
7.7.5 Other Utilities:					
Provide a plan for all other utilities, such as telephone, cable TV, electric, fiber, gas. All utilities shall be installed underground. Provide right-of-way or easements as required. Show that private utilities can be located on private properties, e.g. transformers.					
START	NO COMMENT	2/10/2020	3/2/2020	3/4/2020	see notes
Darren Brugmann					
(3/4/2020 2:02 PM STOL)					
At this point we have no comment regarding this project. START's long term goal in the East Jackson area is to offer microtransit (smaller on demand vehicles) and remove the 35-40 buses traversing these residential streets. Even if we continue the large buses we have no plans to install a stop on Vine Street.					
Darren.					

From: [Brendan Conboy](#)
To: ["Barbara Beaton"](#)
Subject: RE: 445 Vine St.
Date: Monday, March 9, 2020 8:10:00 AM

Dear Barbara,

Thank you for your comment, I will include it in the staff report packet to the Planning Commission and Town Council.

Regards,
Brendan

From: Barbara Beaton [mailto:barbarabeaton.bb@gmail.com]
Sent: Sunday, March 8, 2020 4:25 PM
To: Brendan Conboy <BConboy@jacksonwy.gov>
Subject: Fwd: 445 Vine St.

To the Town of Jackson Planning and Building Department

I am writing in response to the notice I received regarding the proposed development for an 8-unit apartment complex at 445 Vine St. I live at 282 E. Kelly directly across the alley in a Jackson Hole Community Housing Trust home.

Even the Housing Trust, which always strives for maximum density coupled with the quality of life and neighborhood character, only erected 4 residences across the alley along the frontage where there are 8 rental units proposed. (The Kelly street-side units of our complex would only be pertinent if this Vine lot extended all the way to Karns St.) I do believe that this property should be utilized for multiple residences but a 4-plex is more suitable. Below are my main concerns:

- Across the alley from my and my neighbor's front doors (and bedroom windows) will be a parking strip for 10 cars and a dumpster. Thus increasing the noise levels at all hours with vehicles coming and going, car locking horn honks, and dumpster lids slamming. I wonder what the rules will be for residents regarding diesel trucks and pets.
- There is ZERO legal parking in the alley. I drive a Subaru Outback and I sometimes have to squeeze through cars that are not fully off of the roadway where often a firetruck could not possibly get through. This a very real concern as the home that previously occupied 445 Vine St. caught fire and was a total loss. Let's be realistic-if an 8-unit complex is allowed cars will almost certainly be clogging the alley on a regular basis.
- Where are visitors and friends supposed to park and how will they access the tenants? There is also zero parking on Vine St. and no thruway to Karns. The Arbor Place HOA has a sidewalk from Kelly to the alley strictly for our Homeowners and guests to utilize. It is not a public sidewalk. Our HOA has liability as it is Arbor Place common area. New neighbors in the past have immediately adopted it as their pedestrian access and disrupted our complex, limited privacy, and backyard enjoyment.
- This short and narrow alley is already the sole access to 16 separate residences and 2 businesses at the west end. It is also not anywhere near as well maintained as the streets in the winter. We get skipped over often when the streets get plowed. This turns what is

meant to be an E/W roadway with the width between the power poles into a rutted one-lane road. If 2 cars meet one must pull to the side in order for either to pass.

- We do need more workforce housing but cramming people in like sardines on what was originally not even an oversized single-family lot is too much. The high-density proposals have gotten out of hand in town.

Please scale this down to a reasonable amount of dwellings. Thank you for your consideration.

Sincerely,
Barbara Beaton
307-690-3204
barbarabeaton.bb@gmail.com

From: [jay.t](#)
To: [Brendan Conboy](#); [Tyler Valentine](#); [Jay Tomich](#)
Subject: 445 Vine Street
Date: Monday, March 9, 2020 9:21:22 PM

445 Vine Street

3-9-2020

To Whom It May Concern,

I am fortunate and thankful to own an affordable home through the Jackson Hole Community Housing Trust within 200 feet of the proposed development at 445 Vine Street. Here are a few thoughts, concerns, and comments regarding the proposed development.

- I would like to see a larger percentage of the residences used as critical workforce affordable housing for teachers, medical staff, police, fire, EMS, and town, county, and state employees. I propose that the residents must buy and own these properties based on merit similar to how the Jackson Hole Community Housing Trust or Jackson/Teton County Affordable Housing requires applicants. I feel that workforce housing for transient seasonal employees would not match the character of the neighborhood.
- I propose to redevelop the plan to 4 units instead of the proposed 8 units to lessen the congestion in the area and conform with the quality of the neighborhood. Reducing the property to four units will also reduce noise levels and traffic at the end of the alley.
- Parking is very tight in the alley between Kelly and Karns. Please consider moving the parking to Vine Street or on the south side of the building. The east and south sides will also receive more sunlight which will reduce the ice buildup in the parking lots. Also, turning onto Vine street is very dangerous due to the blind corner. The mirror on the light pole across is beneficial, but the turn onto Vine is still dangerous.
- Where will guests and visitors park?
- If the snow is piled up on the NE corner as proposed, then the snow will have to be removed from the property occasionally because the current snow pile in this location often blocks the views of oncoming traffic when turning onto Vine out of the alley.

That is great news that there are plans for a sidewalk along Vine Street. I would like to see the Town/County place a sidewalk the length of Vine Street connecting Kelly and Snow King.

- It may be a good idea to have Vine Street become a one way street. The street is narrow and it is challenging to maneuver around buses and larger vehicles.
- Please do not plant shrubs such as serviceberry, chokecherry, or other plants that may invite unwanted ungulates, bears, omnivores, or other wildlife to the area.
- I do like the two story plan instead of a 3 story unit above ground! It matches the existing neighborhood.

Thank you for considering these ideas and amending the development proposal to match the character of the existing neighborhood.

‘Jay Tomich

From: [Monica Beehler](#)
To: [Brendan Conboy](#)
Subject: Development plans for 445 Vine St
Date: Tuesday, March 10, 2020 4:55:20 PM

Hello,

I'm writing to you as a resident from the neighborhood of 445 Vine St. I live at 268 E Kelly; my front door faces the E Kelly alley. I understand that Jackson needs more housing, but the proposed 8 apartments is alarming! I feel very passionately that we need to preserve a quality of life for our community of current residents, and future, as we negotiate our housing crisis. Please do not approve dorm-like housing! Please do not impose dorm-like housing on existing neighborhoods!

I understand that the new owner of 445 Vine St has the right to develop their land to maximize their investment. Please be courteous and do not diminish the investments of the surrounding homeowners with a box-of-a-building intended to house renters!

Nearly everyone in Jackson 'loves the outdoors', 'loves Nature'. It is a very large part of what gives Jackson it's sense of place. There are 3 mature spruce trees on 445 Vine St that benefit the entire neighborhood with their Nature, providing bird habitat, shade, wind block, dust block from Snow King Resort's parking lot, noise block from Snow King Resort's tourist buses that idle in their parking lot all night long, and perhaps most importantly these trees are beautiful. I'm appalled that the town allows mature, venerable trees that are much older than you or I, to be cut down without any consideration. I know the development plan proposes planting trees on Vine St. It is a complete waste of existing resources to remove the 3 mature spruces and replace them with fast growing town trees that will inevitably be damaged by Town snow removal equipment. It is also disrespectful to Nature.

Please do not approve such dense housing and compromise the character of our Town in order to band aid the housing issue! Jackson has already lost and will continue to lose valuable citizens if our Planning Department approves unsustainable growth and makes living in Town undesirable.

Thank you for your time,
Monica Beehler

From: [Brian Ladd](#)
To: [Brendan Conboy](#)
Subject: 445 Vine St.
Date: Tuesday, March 10, 2020 12:45:34 PM

Hello Brendan-

I am writing to voice my concerns about the proposed development at this property: <https://www.jacksonwy.gov/DocumentCenter/View/2831/P20-025-445-Vine-Street--Development-Plan>

I live at 268 E. Kelly, along the alley very near the proposed development. This development would have a major impact on our quality of life. Our block (that is, as bounded by Kelly, Vine, Karns, and Willow) is already very densely inhabited, and this development would substantially increase the density. I know that most of our politicians are calling for more and more density in town, but it should not be limitless. There is already a huge amount of traffic and noise in our tiny little alley, and there are already parking issues. This building with eight rentals would definitely worsen them. I think a building half the size would be much more appropriate.

I don't know where you live, but I think if you witnessed the amount of noise and traffic we already are exposed to, generally starting before 7AM, you would agree with me. The neighborhood is already too dense for comfort.

We are also concerned about the mature trees on the property. I know they don't technically belong to the community, but they are valuable to our community beyond that which can be expressed in dollars. I hope the Town will do everything in its powers to see that they are preserved.

Thank you for your time & concern!

Brian Ladd
Jackson, WY

From: [Andy Parazette](#)
To: [Brendan Conboy](#)
Subject: Affordable Housing Project Plan
Date: Wednesday, March 11, 2020 9:26:20 AM

I am a resident of Teton County and the Town of Jackson. I support the Comprehensive Plan's goal of providing 65% workforce housing. I support the proposed 8 unit multi family project at 445 Vine Street. This is the right thing to do.

Sincerely,

--

Andy Parazette
307-690-3414
Andy@picastaco.com

From: [Jane Khoury King](#)
To: [Brendan Conboy](#)
Subject: 445 Vine St, Jackson, WY 83001 Development Plan
Date: Tuesday, March 10, 2020 2:54:39 PM

3/10/2020

RE: 445 Vine St, Jackson, WY 83001

I am a resident of Teton County and the Town of Jackson. I support the proposed development plan for this 8 unit multi family project. This helps address the shortage of workforce housing so essential to the vitality of this community.

Sincerely,

Jane Khoury

From: [Griffin King](#)
To: [Brendan Conboy](#)
Subject: Comments on Vine property
Date: Tuesday, March 10, 2020 7:05:34 PM

RE: [445 Vine St, Jackson, WY 83001](#)

To whom it may concern:

My name is Griffin King and I am resident of the Town of Jackson. I endorse the proposed development plan for this 8 unit multi family project on Vine. I believe this will address the shortage of workforce housing that is essential to this community.

Sincerely

Griffin King

From: [ike faust](#)
To: tvalentine@jacksponwy.gov; [Brendan Conboy](#)
Subject: RE: 445 Vine St, Jackson, WY 83001
Date: Tuesday, March 10, 2020 1:32:56 PM

I am a resident of Teton County and the Town of Jackson. I support the proposed development plan for this 8 unit multi family project. This helps address the shortage of workforce housing so essential to the vitality of this community.

--

Best,

Ike Faust

From: [Brian Butler](#)
To: [Brendan Conboy](#); tvalentine@jacksponwy.gov
Date: Tuesday, March 10, 2020 1:30:27 PM

I am a resident of Teton County and the Town of Jackson. I support the proposed development plan for this 8 unit multi family project. This helps address the shortage of workforce housing so essential to the vitality of this community.

Sincerely,

Brian Butler

P 307-734-9488

F 806-734-9480

C 208-709-5466

bbutlerwy@gmail.com