

Special Town Council Meeting

November 4, 2024

4:30 PM

Town Council Chambers

Chair: Hailey Morton Levinson

NOTICE: THE VIDEO AND AUDIO FOR THIS MEETING ARE STREAMED TO THE PUBLIC VIA THE INTERNET AND MOBILE DEVICES WITH VIEWS THAT ENCOMPASS ALL AREAS, PARTICIPANTS AND AUDIENCE MEMBERS. PLEASE SILENCE ALL ELECTRONIC DEVICES DURING THE MEETING.

I. ZOOM LINK FOR PUBLIC PARTICIPATION

The Town reserves the right to close Public Comment via Zoom at any time. In-person comment will continue to be taken and written comments can always be submitted to Town Council by emailing electedofficials@jacksonwy.gov.

To join, click link or copy it to your browser: <https://us02web.zoom.us/j/83781966677?pwd=8FU7BjnIBhvzONaqqd60RKouPJPxOg.1>

Or join at zoom.com with Webinar ID: **837 8196 6677** and Password: **83001** or by phone: **+1 253 215 8782**

II. CALL TO ORDER AND ROLL CALL

III. CONSENT CALENDAR

- A. Disbursements

IV. ORDINANCES

- A. Ordinance O: An Ordinance Annexing Russ Garaman Park into Town of Jackson (Third Reading, to be designated Ordinance 1393)
- B. Ordinances P-Z: Ordinances Amending Various Sections of the LDRs to Address the Building Size Moratorium (PM24-004) (Second Reading)
 - 1. Ordinance P: An Ordinance Regarding Maximum Facade Width in the Downtown
 - 2. Ordinance Q: An Ordinance Regarding Maximum Building Size
 - 3. Ordinance R: An Ordinance Regarding the Term Individual Building
 - 4. Ordinance S: An Ordinance Regarding the Definition of Floor Area for Maximum Building Size
 - 5. Ordinance T: An Ordinance Regarding the Definition of Hotel and Deed-Restricted Houses for Maximum Building Size
 - 6. Ordinance U: An Ordinance Regarding the Definition of Street Facade Width
 - 7. Ordinance V: An Ordinance Regarding Requiring a Conditional Use Permit for Projects Requiring a Sketch Plan in Certain Zones
 - 8. Ordinance W: An Ordinance Regarding the Maximum Unit/Room Size for Hotel Rooms
 - 9. Ordinance X: An Ordinance Regarding the Maximum Unit/Room Size for Short-Term Rental Units
 - 10. Ordinance Y: An Ordinance Regarding Exemptions from Workforce Housing Bonus
 - 11. Ordinance Z: An Ordinance Adding Appendix B, Town Design Guidelines, to the Land Development Regulations

Please note that at any point during the meeting, the Mayor may change the order of items listed on this agenda. In order to ensure that you are present at the time your item of interest is discussed, please join the meeting at the beginning to hear any changes to the schedule or agenda.

- C. Ordinance A: An Ordinance Amending the Applicability and Amount of Affordable Workforce Housing Required (Second Reading)
- D. Ordinance B: An Ordinance Amending Pathway Speed Limits (Second Reading)

V. ADJOURN

Please note that at any point during the meeting, the Mayor may change the order of items listed on this agenda. In order to ensure that you are present at the time your item of interest is discussed, please join the meeting at the beginning to hear any changes to the schedule or agenda.

Report Criteria:
Detail report.
Invoices with totals above \$0 included.
Paid and unpaid invoices included.
Vendor.Vendor Number = 2327

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
2327	TETON COUNTY SHERIFF-DISP	051524	jHPSRC RADIO BUDGET	05/15/2024	335,666.69	.00	
2327	TETON COUNTY SHERIFF-DISP	051524	jHPSRC RADIO BUDGET	05/15/2024	6,782.05	.00	
Total 2327:					342,448.74	.00	
Grand Totals:					342,448.74	.00	

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$0 included.

Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
51	ACE HARDWARE	874138	BLACK OXIDE	07/05/2024	17.98	.00	
51	ACE HARDWARE	878890	ACE TOP SOIL	08/12/2024	25.96	.00	
51	ACE HARDWARE	882740	DEAD BLOW HAMMER	09/14/2024	54.99	.00	
51	ACE HARDWARE	882756	ADHS CONSTRUCTION PL PRE	09/15/2024	9.99	.00	
51	ACE HARDWARE	885375	DUCK SUPUR FLX	10/09/2024	14.99	.00	
51	ACE HARDWARE	885418	10X3/4	10/09/2024	1.89	.00	
51	ACE HARDWARE	885432	B AND B KNOW BOWRY	10/09/2024	34.99	.00	
51	ACE HARDWARE	885460	DOWEL RAMIN CRDIT	10/10/2024	14.99-	.00	
51	ACE HARDWARE	885539	KEY SCHOLAGE ORIGINAL	10/10/2024	10.98	.00	
51	ACE HARDWARE	885548	WINGMAN MULTI TOOL	10/10/2024	79.99	.00	
51	ACE HARDWARE	885655	HEX HEAD BOLTS	10/11/2024	2.38	.00	
51	ACE HARDWARE	885796	KEYKRAFTER	10/14/2024	13.47	.00	
51	ACE HARDWARE	886056	KEY STEM	10/15/2024	44.97	.00	
51	ACE HARDWARE	886057	KEY SILLCOCK	10/15/2024	5.49	.00	
51	ACE HARDWARE	886151	MILKHOUSE HEATER	10/16/2024	72.97	.00	
51	ACE HARDWARE	886208	BATTERY S	10/16/2024	34.98	.00	
51	ACE HARDWARE	886308	PWR TRIP	10/17/2024	11.99	.00	
51	ACE HARDWARE	886425	GORILLA TAPE BLACK	10/18/2024	16.99	.00	
51	ACE HARDWARE	886452	CORD EXT MILHOUSE HEATER	10/18/2024	167.44	.00	
51	ACE HARDWARE	886476	NILKHOUSE HEATER	10/18/2024	39.99	.00	
51	ACE HARDWARE	887041	GLASS CLEANER	10/24/2024	25.97	.00	
Total 51:					673.41	.00	
6900	ALDER ENVIRONMENTAL LLC	4576	CORE FACILITY	09/20/2024	1,575.75	.00	
Total 6900:					1,575.75	.00	
6524	ALPHAGRAPHICS	JX-417932	BUSINESS LICENSE FORMS	10/14/2024	182.05	.00	
Total 6524:					182.05	.00	
5726	AMAZON	11HY-FFVN-JP	10PCS MIN BOAT ROCKER SWI	10/09/2024	6.99	.00	
5726	AMAZON	13GX-HG7W-	AIRPOD EAR TIPS	10/17/2024	69.97	.00	
5726	AMAZON	13GX-HG7W-R	IPHONE 16 ACCESSORIES	10/17/2024	1,855.62	.00	
5726	AMAZON	13KL-4VJN-QP	MINI KIOTA	10/07/2024	33.98	.00	
5726	AMAZON	16V1-4WW9-C	FEED SCOOP	10/22/2024	40.99	.00	
5726	AMAZON	16Y3-QK9D-J	TAPES	10/11/2024	19.99	.00	
5726	AMAZON	1C46-T6X4-M4	TETRA MIN PLUS TROPICAL FL	10/21/2024	14.55	.00	
5726	AMAZON	1DTP-DR14-R	C CABLE CHARGER	10/07/2024	19.99	.00	
5726	AMAZON	1HC7-CD99-M	TONERS	10/17/2024	174.78	.00	
5726	AMAZON	1JLD-P49M-D1	FEED SCOOPS	10/20/2024	122.97	.00	
5726	AMAZON	1MTH-WJ44-6	POWER CABLE	10/16/2024	56.88	.00	
5726	AMAZON	1N9Q-Y7XT-F6	GLOW STICKS	10/16/2024	166.45	.00	
5726	AMAZON	1Q93-FHLX-LL	ATOMIC CLOCK	10/21/2024	27.99	.00	
Total 5726:					2,611.15	.00	
3530	AMSOIL INC #774148	229592023RI	GEAR LUBE	10/03/2024	3,105.82	.00	
3530	AMSOIL INC #774148	22961641R1	SYNTHETIC 15W40 SS DIESEL	10/04/2024	17,432.20	.00	
Total 3530:					20,538.02	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
383	ANTLER MOTEL, INC.	102124	RENT 10 ROOMS	10/21/2024	15,750.00	.00	
Total 383:					15,750.00	.00	
4389	APPLE INC	MB26139913	IPAD PRO	10/19/2024	3,183.00	.00	
4389	APPLE INC	MB26319580	IPAD PRO	10/19/2024	4,644.00	.00	
Total 4389:					7,827.00	.00	
1783	AT&T	287259163099	charges for account 25725916309	10/08/2024	1,156.62	.00	
1783	AT&T	287272169264	MONTHLY ACCOUNT 287272169	10/20/2024	.00	.00	
Total 1783:					1,156.62	.00	
4088	AVAIL VALLEY CONTRUCTION-I	10152024	APPLICATION #2 SPRING PATC	10/15/2024	17,469.04	.00	
Total 4088:					17,469.04	.00	
3754	AYLING, ALEX	102224	DUTY BOOTS	10/22/2024	82.13	.00	
Total 3754:					82.13	.00	
4774	BIG R RANCH & HOME	1680107	CEMETARY	07/26/2024	47.98	.00	
4774	BIG R RANCH & HOME	1691850	MUCK BOOTS	10/15/2024	167.95	.00	
4774	BIG R RANCH & HOME	1692964	MENS COAT	10/22/2024	79.99	.00	
Total 4774:					295.92	.00	
3500	BISON LUMBER	2410-857195	marking spray wand	10/01/2024	129.60	.00	
3500	BISON LUMBER	2410-858792	PREssure treated	10/15/2024	214.27	.00	
Total 3500:					343.87	.00	
6727	BRIGGS, ERIC L	31980	CURVED PRY BAR	10/17/2024	258.17	.00	
6727	BRIGGS, ERIC L	32143	TOOLS	10/24/2024	63.35	.00	
Total 6727:					321.52	.00	
2795	CANVAS UNLIMITED	8845-10	WHITE TENT FOR EVENT	10/15/2024	25,290.72	.00	
Total 2795:					25,290.72	.00	
5	CARQUEST AUTO PARTS INC.	6090-668445	OIL DRAIN	10/09/2024	5.69	.00	
5	CARQUEST AUTO PARTS INC.	6090-668446	air litters	09/09/2024	8.37	.00	
Total 5:					14.06	.00	
544	CENTURYLINK	333897059 100	Monthly bill for account	10/07/2024	2,439.34	.00	
544	CENTURYLINK	333897059 102	Monthly bill for account 33389705	10/07/2024	2,439.34	.00	
544	CENTURYLINK	334064254 102	Monthly bill for account 33406425	10/13/2024	54.37	.00	
Total 544:					4,933.05	.00	
6114	CLIMB WYOMING	093024	1ST QUARTER PAYMENT	09/30/2024	1,531.25	.00	
Total 6114:					1,531.25	.00	
4292	Commercial Tire-ID Falls	21-160776	TIRES	10/24/2024	10,447.20	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 4292:					10,447.20	.00	
69	COMMUNITY ENTRY SERVICES	070924	1ST QUARTER PAYMENT	07/09/2024	45,000.00	.00	
Total 69:					45,000.00	.00	
514	CONRAD & BISCHOFF INC.	IN-289292-24	FUEL	10/07/2024	19,986.42	.00	
514	CONRAD & BISCHOFF INC.	IN-289293-24	FUEL	10/07/2024	8,016.19	.00	
514	CONRAD & BISCHOFF INC.	IN-320174-24	DEF BULK	10/21/2024	416.52	.00	
Total 514:					28,419.13	.00	
7111	DAWSON INFRASTRUCTURE S	INV213797	FLAP BLAST CONTROL	04/08/2024	728.59	.00	
Total 7111:					728.59	.00	
4918	DEAN'S PEST CONTROL LLC	94993	RODENT CONTROL	09/24/2024	100.00	.00	
Total 4918:					100.00	.00	
4959	DETAIL DRIVEN LLC	12353	ODOR REMOVAL	10/02/2024	125.00	.00	
Total 4959:					125.00	.00	
3881	DEX IMAGING	AR12164840	CONTRACT	10/22/2024	109.86	.00	
Total 3881:					109.86	.00	
7037	DICK ANDERSON CONSTRUCTI	101624	PAY APP #24	10/16/2024	978,208.84	.00	
Total 7037:					978,208.84	.00	
6883	DIVISION OF CHILD SUPPORT	101824	DCSE CASE #0005405448	10/18/2024	509.23	509.23	10/17/2024
Total 6883:					509.23	509.23	
6844	EKOS, INC	218199	fuel site module	08/31/2024	80.00	.00	
6844	EKOS, INC	218636	MONTHLY SERVICE	10/16/2024	80.00	.00	
6844	EKOS, INC	412192053699	fuel site module	10/17/2024	720.00	.00	
Total 6844:					880.00	.00	
7446	ELAN ONE CARD	BUILDING 895	INTERNATIONAL CODE COUNC	09/25/2024	315.00	315.00	10/25/2024
7446	ELAN ONE CARD	BUILDING 895	INTERNATIONAL CODE COUNC	09/25/2024	170.00	170.00	10/25/2024
7446	ELAN ONE CARD	BUILDING 895	INTERNATIONAL CODE COUNC	09/25/2024	438.50	438.50	10/25/2024
7446	ELAN ONE CARD	BUILDING 895	BIG HOLE BBQ-TOWN-WIDE SE	09/25/2024	636.00-	636.00-	10/25/2024
7446	ELAN ONE CARD	BUILDING 895	INTERNATIONAL CODE COUNC	09/25/2024	2,966.82	2,966.82	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	MAILCHIMP-COMMUNITY DEVE	09/25/2024	75.00	75.00	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	PEARL STREET -COMMUNITY D	09/25/2024	22.68	22.68	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	ALBERTSONS-TOWN-WIDE SE	09/25/2024	32.75	32.75	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	AMAZON-COMMUNITY DEVELO	09/25/2024	15.89	15.89	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	AMAZON-COMMUNITY DEVELO	09/25/2024	25.43	25.43	10/25/2024
7446	ELAN ONE CARD	CD 3840 09/25	AMAZON-COMMUNITY DEVELO	09/25/2024	6.35	6.35	10/25/2024
7446	ELAN ONE CARD	Finance 9639 0	SMITHS-TOWN-WIDE SERVICE	09/25/2024	200.26	200.26	10/25/2024
7446	ELAN ONE CARD	Finance 9639 0	BIG SKY RESORT-COMMUNITY	09/25/2024	261.56	261.56	10/25/2024
7446	ELAN ONE CARD	Finance 9639 0	SHORT PAID LAST MONTH-TO	09/25/2024	54.96	54.96	10/25/2024
7446	ELAN ONE CARD	Finance 9639 0	BIG SKY RESORT-COMMUNITY	09/25/2024	1.48	1.48	10/25/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
7446	ELAN ONE CARD	Finance 9639 0	CHECKR-START	09/25/2024	573.32	573.32	10/25/2024
7446	ELAN ONE CARD	Finance 9639 0	CHECKR-PERSONNEL/TOWN C	09/25/2024	397.30	397.30	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	COOLGEAR-INFORMATION TEC	09/25/2024	131.03	131.03	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	STAR MOUNT SYSTEMS-INFOR	09/25/2024	819.61	819.61	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	SLIMQ-INFORMATION TECHNO	09/25/2024	61.98	61.98	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	NAPA-INFORMATION TECHNOL	09/25/2024	47.85	47.85	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	AMAZON-INFORMATION TECHN	09/25/2024	78.99	78.99	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	GPS SYSTEMS-INFORMATION	09/25/2024	389.97	389.97	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	VILLAGE CAF☐-COMMUNITY PR	09/25/2024	404.06	404.06	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	STARLINK-INFORMATION TECH	09/25/2024	143.10	143.10	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	DISH NETWORK-TOWN-WIDE S	09/25/2024	144.74	144.74	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	GARMIN-INFORMATION TECHN	09/25/2024	65.95	65.95	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	STARLINK-INFORMATION TECH	09/25/2024	150.00	150.00	10/25/2024
7446	ELAN ONE CARD	IT 7309 09/25/2	STARLINK-INFORMATION TECH	09/25/2024	87.98	87.98	10/25/2024
7446	ELAN ONE CARD	PD 0494 09/25/	PAPER DIRECT-POLICE - ADMI	09/25/2024	99.06	99.06	10/25/2024
7446	ELAN ONE CARD	PD 0494 09/25/	PAPER DIRECT-POLICE - ADMI	09/25/2024	64.97	64.97	10/25/2024
7446	ELAN ONE CARD	PD 0494 09/25/	AUDIBLE-POLICE - PATROL	09/25/2024	15.85	15.85	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	ARCO-PERSONNEL/TOWN CLE	09/25/2024	40.00	40.00	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	BLISS YOGART-POLICE - PATR	09/25/2024	13.82	13.82	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	UPS-POLICE - INVESTIGATIONS	09/25/2024	16.78	16.78	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	PHILLIPS-PERSONNEL/TOWN C	09/25/2024	54.36	54.36	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	CONOCO-POLICE - PATROL	09/25/2024	50.50	50.50	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	SMITHS-POLICE - ADMINISTRA	09/25/2024	13.38	13.38	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	CHIPOLTE-PERSONNEL/TOWN	09/25/2024	17.65	17.65	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	CONOCO-POLICE - PATROL	09/25/2024	47.04	47.04	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	UNITED-POLICE - INVESTIGATI	09/25/2024	49.50	49.50	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	COMFORT INN-PERSONNEL/TO	09/25/2024	149.69	149.69	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	7-ELEVEN-POLICE - INVESTIGA	09/25/2024	52.01	52.01	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	ARCO-PERSONNEL/TOWN CLE	09/25/2024	20.00	20.00	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	DOUGLAS-POLICE - PATROL	09/25/2024	40.49	40.49	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	UNITED-POLICE - INVESTIGATI	09/25/2024	49.50	49.50	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	SPACE AGE-PERSONNEL/TOW	09/25/2024	27.69	27.69	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	UPS-POLICE - INVESTIGATIONS	09/25/2024	12.49	12.49	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	UPS-POLICE - INVESTIGATIONS	09/25/2024	16.71	16.71	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	SUPERFOODS-POLICE - PATRO	09/25/2024	20.00	20.00	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	COMFORT INN-PERSONNEL/TO	09/25/2024	2.65	2.65	10/25/2024
7446	ELAN ONE CARD	PD 6677 09/25/	DUNKIN -POLICE - INVESTIGATI	09/25/2024	11.38	11.38	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	MONARCH MOTORSPORTS-PO	09/25/2024	195.37	195.37	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	MONARCH MOTORSPORTS-PO	09/25/2024	7.66	7.66	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	B2G-POLICE - PATROL	09/25/2024	495.00	495.00	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	ACE HARDWARE-POLICE - PAT	09/25/2024	20.64	20.64	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	ALBERTSONS-POLICE - PATRO	09/25/2024	40.95	40.95	10/25/2024
7446	ELAN ONE CARD	PD 7867 09/25/	TAC GEAR-POLICE - PATROL	09/25/2024	71.16	71.16	10/25/2024
7446	ELAN ONE CARD	START 4059 0	COSTCO-START	09/25/2024	79.46	79.46	10/25/2024
7446	ELAN ONE CARD	START 4059 0	COSTCO-START	09/25/2024	60.39	60.39	10/25/2024
7446	ELAN ONE CARD	START 9251 0	4IMPRINT-START	09/25/2024	335.82	335.82	10/25/2024
7446	ELAN ONE CARD	WWTP 2901 0	EGUAGE-SEWER DEPARTMEN	09/25/2024	20.00	20.00	10/25/2024
7446	ELAN ONE CARD	WWTP 2901 0	ALBERTSONS-SEWER DEPART	09/25/2024	35.80	35.80	10/25/2024
Total 7446:					9,694.33	9,694.33	
6335	EMERALD SERVICES, INC	95369737	ANTIFREEZE	10/02/2024	150.00	.00	
Total 6335:					150.00	.00	
5223	ENERGY CONSERVATION WOR	083024	1ST QUARTER PAYMENT	08/30/2024	8,750.00	.00	

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Total 5223:					8,750.00	.00	
1134	ENERGY LABORATORIES INC.	665593	INFLUENT AND EFFLUENT	10/15/2024	469.00	.00	
1134	ENERGY LABORATORIES INC.	665735	LIGHTS, BARROW POND	10/15/2024	167.00	.00	
1134	ENERGY LABORATORIES INC.	665736	INFLUENT AND EFFLUENT	10/15/2024	469.00	.00	
Total 1134:					1,105.00	.00	
7168	FALL RIVER RURAL ELECTIC	51773001 1024	CHATHAM LOOP 51773001	10/21/2024	85.47	.00	
Total 7168:					85.47	.00	
3195	FERGUSON ENTERPRISES, IN	3086821	green strut	10/09/2024	32.89	.00	
Total 3195:					32.89	.00	
4294	FIRE SERVICES OF IDAHO	12581661	FIRE ALARM SYSTEM	09/30/2024	1,237.52	.00	
Total 4294:					1,237.52	.00	
7124	FLAT CREEK APARTMENTS, LL	101824	release landscape bond 300 w sn	10/18/2024	34,418.75	34,418.75	10/17/2024
Total 7124:					34,418.75	34,418.75	
4709	FLEETPRIDE	120874735	FAST CHARGER	10/22/2024	2,080.86	.00	
Total 4709:					2,080.86	.00	
6146	FRONTIER FENCE INC	1538	CHAINLINK FENCE INSTAL	10/21/2024	9,440.00	.00	
Total 6146:					9,440.00	.00	
7104	GEDDES, GLENN	101824	TRAVEL REIMBURSEMENT	10/18/2024	22.40	.00	
Total 7104:					22.40	.00	
7117	GELCO SUPPLY INC.	83195	ROOTX 40LBS CASE	09/27/2024	2,312.00	.00	
Total 7117:					2,312.00	.00	
4212	GILLIG LLC	41227756	filter air	10/08/2024	400.20	.00	
4212	GILLIG LLC	41229116	BUTTON,ADAOTER HRON AND	10/10/2024	76.25	.00	
4212	GILLIG LLC	41230154	SWITCH BOX	10/14/2024	343.23	.00	
4212	GILLIG LLC	41230711	DIESEL GUAGE	10/15/2024	268.05	.00	
4212	GILLIG LLC	41230712	GUEL GUAGE	10/15/2024	178.70	.00	
Total 4212:					1,266.43	.00	
6794	GRANICUS, LLC	191606	SMARTGOV	09/30/2024	19,881.67	.00	
Total 6794:					19,881.67	.00	
6935	GRAY BUILDERS	101724	release of bond e24-0196 410 e gi	10/17/2024	2,000.00	.00	
Total 6935:					2,000.00	.00	
93	HACH CHEMICAL CO.	14223184	AMMONIA, TNT+, HR	10/14/2024	985.19	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 93:					985.19	.00	
7342	HARMONY DESIGN, INC	65591	SCOTT LANE PATHWAY	10/03/2024	627.50	.00	
Total 7342:					627.50	.00	
4988	HD FOWLER COMPANY	16831272	tapping sleeve and valve	09/23/2024	8,369.19	.00	
Total 4988:					8,369.19	.00	
7199	HIDDEN HOLLOW LLC	102424	RELEASE BOND 920-116 TOWN	10/24/2024	9,500.00	.00	
Total 7199:					9,500.00	.00	
96	HIGH COUNTRY LINEN	0455138	laundry,towels,mats and uniforms	08/05/2024	28.30	.00	
96	HIGH COUNTRY LINEN	0455138	laundry,towels,mats and uniforms	08/05/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0456542	laundry,towels,mats and uniforms	08/12/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0456542	laundry,towels,mats and uniforms	08/12/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0457997	laundry,towels,mats and uniforms	08/18/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0457997	laundry,towels,mats and uniforms	08/18/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0459374	laundry,towels,mats and uniforms	08/26/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0459374	laundry,towels,mats and uniforms	08/26/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0460800	laundry,towels,mats and uniforms	09/02/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0460800	laundry,towels,mats and uniforms	09/02/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0462115	towels,laundry bags,dry cleaning	09/09/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0462115	dry cleaning	09/09/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0463514	laundry,towels,mats and uniforms	09/16/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0463514	laundry,towels,mats and uniforms	09/16/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0464834	laundry,towels,mats and uniforms	09/23/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0464834	laundry,towels,mats and uniforms	09/23/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0466176	laundry,towels,mats and uniforms	09/30/2024	22.64	.00	
96	HIGH COUNTRY LINEN	0466176	laundry,towels,mats and uniforms	09/30/2024	49.83	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	29.93	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	7.04	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	18.28	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	6.65	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	14.95	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	7.04	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	13.30	.00	
96	HIGH COUNTRY LINEN	0466911	Mops towels and uniforms	10/03/2024	23.30	.00	
96	HIGH COUNTRY LINEN	0467441	MATS @ START	10/07/2024	202.85	.00	
96	HIGH COUNTRY LINEN	0467799	MATS @ TOWN HALL	10/08/2024	250.73	.00	
96	HIGH COUNTRY LINEN	0467896	MATS @ SHELTER	10/09/2024	77.62	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	13.30	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	29.93	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	6.65	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	7.03	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	18.28	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	14.95	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	9.72	.00	
96	HIGH COUNTRY LINEN	0468120	laundry,towels,mats and uniforms	10/10/2024	7.04	.00	
96	HIGH COUNTRY LINEN	0469817	towels,laundry bags,dry cleaning	10/21/2024	86.31	.00	
96	HIGH COUNTRY LINEN	D0468779	KITCHEN TOWELS	10/14/2024	219.82	.00	
96	HIGH COUNTRY LINEN	S0468855	GARBAGE CAN LINER	10/15/2024	84.02	.00	
Total 96:					1,806.63	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
6455	HIRST APPLGATE, LLP	222143	ROBERT CULVER AND CATHY	10/04/2024	110.00	.00	
6455	HIRST APPLGATE, LLP	222144	JOHN AND CAROL CONNELLA	10/04/2024	3,101.50	.00	
Total 6455:					3,211.50	.00	
6041	HOLE FOOD RESCUE	100324	1ST QUARTER	10/03/2024	6,250.00	.00	
Total 6041:					6,250.00	.00	
7143	HOT SPOTS LLC	224063	INSPECTIONS	10/15/2024	2,363.00	.00	
Total 7143:					2,363.00	.00	
4736	IDAHO CHILD SUPPORT RECEI	101824	case 426985	10/18/2024	564.20	564.20	10/17/2024
Total 4736:					564.20	564.20	
3323	IDAHO TRAFFIC SAFETY, INC.	228567	SIGNAGE	10/11/2024	750.00	.00	
Total 3323:					750.00	.00	
6121	IDENTISYS, INC	688285	datacard	10/11/2024	671.00	.00	
Total 6121:					671.00	.00	
106	INTERSTATE BATTERY	950003488	BATTERIES	10/14/2024	383.85	.00	
106	INTERSTATE BATTERY	950003572	BATTERIES	10/21/2024	479.90	.00	
Total 106:					863.75	.00	
6931	JACKSON DOWNTOWNER, LLC	JKD-1039	START ON DEMAND NOVEMBE	10/09/2024	98,711.99	.00	
Total 6931:					98,711.99	.00	
7163	JACKSON GROUP LOCKBOX	679210IF	AMBER MEGA THIN STICK	10/14/2024	689.00	.00	
7163	JACKSON GROUP LOCKBOX	679583IFX3	KIT INLET AND AIR DRYER	10/11/2024	160.59	.00	
7163	JACKSON GROUP LOCKBOX	679583IFX4	KIT INLET CHECK	10/15/2024	268.52	.00	
7163	JACKSON GROUP LOCKBOX	68631IF	FILTERS	10/15/2024	765.78	.00	
7163	JACKSON GROUP LOCKBOX	CM679583IFX	kit brake	09/10/2024	411.28-	.00	
Total 7163:					1,472.61	.00	
2877	JACKSON HOLE AIR	5294	2024-2025 CONTRACT GRANT	10/10/2024	15,000.00	.00	
Total 2877:					15,000.00	.00	
6477	Jackson Hole Childrens Museum	251	1ST QUARTER PAYMENT	09/09/2024	5,000.00	.00	
Total 6477:					5,000.00	.00	
858	JACKSON HOLE COMMUNITY H	TOJ 24-25 1 4	1ST QUARTER PAYMENT	08/01/2024	12,500.00	.00	
Total 858:					12,500.00	.00	
51	ACE HARDWARE	874138	AD 431921	07/05/2024	85.50	.00	
Total 51:					85.50	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
131	JACKSON HOLE NEWS & GUID	368650	AD 430805	08/14/2024	840.75	.00	
131	JACKSON HOLE NEWS & GUID	369754	AD 431557	09/11/2024	323.00	.00	
131	JACKSON HOLE NEWS & GUID	369756	AD 431558	09/11/2024	71.25	.00	
131	JACKSON HOLE NEWS & GUID	369757	AD 431559	09/11/2024	1,368.00	.00	
131	JACKSON HOLE NEWS & GUID	369758	AD 431560	09/11/2024	342.00	.00	
131	JACKSON HOLE NEWS & GUID	369759	AD 431561	09/11/2024	71.25	.00	
131	JACKSON HOLE NEWS & GUID	369760	AD 431562	09/11/2024	71.25	.00	
131	JACKSON HOLE NEWS & GUID	369761	AD 431563	09/11/2024	242.25	.00	
131	JACKSON HOLE NEWS & GUID	369762	AD431564	09/11/2024	76.00	.00	
131	JACKSON HOLE NEWS & GUID	369763	AD 431565	09/11/2024	779.00	.00	
131	JACKSON HOLE NEWS & GUID	370010	AD#431756	09/18/2024	190.00	.00	
131	JACKSON HOLE NEWS & GUID	370012	AD 431754	09/18/2024	669.75	.00	
131	JACKSON HOLE NEWS & GUID	370013	AD 431755	09/18/2024	204.25	.00	
131	JACKSON HOLE NEWS & GUID	370228	AD 431920	09/25/2024	441.75	.00	
131	JACKSON HOLE NEWS & GUID	370229	AD 431921	09/25/2024	85.50	.00	
131	JACKSON HOLE NEWS & GUID	370230	AD#431922	09/24/2024	128.25	.00	
131	JACKSON HOLE NEWS & GUID	370231	AD 431923	09/25/2024	978.50	.00	
131	JACKSON HOLE NEWS & GUID	370266	AD 431751	09/25/2024	351.50	.00	
131	JACKSON HOLE NEWS & GUID	370475	OLD BILLS AD ANIMAL SHELTE	09/30/2024	382.20	.00	
131	JACKSON HOLE NEWS & GUID	370508	AD 430759	09/30/2024	124.99	.00	
131	JACKSON HOLE NEWS & GUID	370737	AD 432343	10/09/2024	80.75	.00	
131	JACKSON HOLE NEWS & GUID	371128	AD#432519	10/23/2024	85.50	.00	
131	JACKSON HOLE NEWS & GUID	371171	AD#432786	10/23/2024	38.00	.00	
Total 131:					7,945.69	.00	
121	J-B MECHANICAL	42932A-C	WASHER REPAIR	09/18/2024	654.60	.00	
Total 121:					654.60	.00	
139	JORGENSEN ASSOCIATES, PC	54719	gregory lane infra	10/11/2024	6,289.58	.00	
139	JORGENSEN ASSOCIATES, PC	54719	gregory lane infra	10/11/2024	6,289.58	.00	
139	JORGENSEN ASSOCIATES, PC	54719	gregory lane infra	10/11/2024	6,289.59	.00	
139	JORGENSEN ASSOCIATES, PC	54776	gregory lane infra	10/17/2024	1,182.50	.00	
Total 139:					20,051.25	.00	
4275	JORGENSEN, ARNE OLAUS	54804	24055 TANK OVERFLOW	10/21/2024	2,010.00	.00	
Total 4275:					2,010.00	.00	
7531	KEENAN PROPERTIES, LLC	101724	RETURN BUSINESS LICENSE P	10/17/2024	126.00	.00	
Total 7531:					126.00	.00	
5537	KEENAN, PETER	101724	release of bond 440 stacy lane B2	10/17/2024	2,187.50	.00	
Total 5537:					2,187.50	.00	
4902	KOIS BROTHERS EQUIPMENT	133713	IMPELLOR BLADE	10/03/2024	1,380.69	.00	
Total 4902:					1,380.69	.00	
5691	LEPCO	59471	chemicals	10/14/2024	228.80	.00	
Total 5691:					228.80	.00	
7534	MARSHALL, JONATHAN	101024	DOT PHYSICAL	10/10/2024	155.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 7534:					155.00	.00	
4258	MD NURSERY & LANDSCAPING	42563	IRRIGATION MAITENANCE	06/30/2024	319.72	.00	
Total 4258:					319.72	.00	
258	MENTAL HEALTH & RECOVERY	11127610	1ST QUARTER	07/29/2024	45,250.00	.00	
258	MENTAL HEALTH & RECOVERY	11127642	2ND QUARTER	10/04/2024	45,250.00	.00	
Total 258:					90,500.00	.00	
4623	MSC INDUSTRIAL SUPPLY CO	7226885001	coup,barb air hose fit brass	09/26/2024	174.23	.00	
4623	MSC INDUSTRIAL SUPPLY CO	7257577001	PARTS	10/10/2024	470.87	.00	
Total 4623:					645.10	.00	
257	NAPA AUTO PARTS INC.	2558874	PLUG MOUNT AND RECT LENS	10/09/2024	22.28	.00	
257	NAPA AUTO PARTS INC.	257555	PKT REMOVAL FOOT	10/03/2024	31.99	.00	
257	NAPA AUTO PARTS INC.	257646	LBIL BRACKET,COMBINATION	10/03/2024	79.11	.00	
257	NAPA AUTO PARTS INC.	258838	CO2 CORE DEPOSIT	10/09/2024	50.05	.00	
257	NAPA AUTO PARTS INC.	259011	FILTERS	10/09/2024	29.98	.00	
257	NAPA AUTO PARTS INC.	259193	SEAL	10/10/2024	17.24	.00	
257	NAPA AUTO PARTS INC.	259475	NAPA GOLD FILTERS	10/11/2024	18.89	.00	
257	NAPA AUTO PARTS INC.	259687	HI PWR II IND VBELT	10/11/2024	19.20	.00	
257	NAPA AUTO PARTS INC.	259748	TIRE SEALANT	10/12/2024	4.78	.00	
257	NAPA AUTO PARTS INC.	259997	OIL FILTERS	10/14/2024	96.41	.00	
257	NAPA AUTO PARTS INC.	260346	GLOW PLUGS	10/15/2024	16.49	.00	
257	NAPA AUTO PARTS INC.	260499	SPOTLIGHT	10/15/2024	47.69	.00	
257	NAPA AUTO PARTS INC.	260513	SENSORS	10/15/2024	49.97	.00	
257	NAPA AUTO PARTS INC.	260591	SILENTGUAR CHEV TAHOE	10/16/2024	79.98	.00	
257	NAPA AUTO PARTS INC.	260981	FILTERS	10/17/2024	35.56	.00	
257	NAPA AUTO PARTS INC.	261015	FILTERS	10/17/2024	18.89	.00	
257	NAPA AUTO PARTS INC.	261257	FILTERS	10/18/2024	46.97	.00	
257	NAPA AUTO PARTS INC.	262311	BLADES	10/23/2024	22.49	.00	
257	NAPA AUTO PARTS INC.	262463	LAMP	10/23/2024	179.16	.00	
257	NAPA AUTO PARTS INC.	262931	FORCE BLADE	10/25/2024	45.98	.00	
Total 257:					913.11	.00	
187	NELSON ENGINEERING	65227	20-004-02 toj survey	08/27/2024	3,450.00	.00	
187	NELSON ENGINEERING	65670	23-302-02 TOJ WATER SUPPLY	10/10/2024	28,471.15	.00	
Total 187:					31,921.15	.00	
5037	OLDCASTLE PRECAST INC	230221015	CONE WET CAST	07/19/2024	2,100.00	.00	
Total 5037:					2,100.00	.00	
513	ON SIGHT LAND SURVEYORS I	102224	surveyoR REVIEW P24-148	10/22/2024	450.00	.00	
Total 513:					450.00	.00	
7533	OWENS EQUIPMENT	1728	48R12IS ICT PLP MD ASY	09/10/2024	12,224.01	.00	
Total 7533:					12,224.01	.00	
4398	PALAZZOLO, MICHAEL	101824	MONTHLY IT HARDWARE	01/18/2024	77.83	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 4398:					77.83	.00	
7070	PEAK WATER SERVICES, LLC	INVPWS3161	GASKET AND BOLTS	10/30/2024	86.92	.00	
Total 7070:					86.92	.00	
4801	PHILLIPS, JAMES	101724	CAMP CHAIR	10/17/2024	42.39	.00	
Total 4801:					42.39	.00	
7242	PITTS, SAMANTHA	102424	MONTHLY IT HARDWARE	10/24/2024	77.83	.00	
Total 7242:					77.83	.00	
4878	POCO LLC	P2429216657	RANGE VENT	10/18/2024	360.41	.00	
Total 4878:					360.41	.00	
7508	POINT S DRIGGS	6013570	radial trailer transport	10/09/2024	1,182.72	.00	
7508	POINT S DRIGGS	6013593	TIRES	10/14/2024	5,332.04	.00	
7508	POINT S DRIGGS	6013694	TIRES	10/15/2024	380.85	.00	
7508	POINT S DRIGGS	6013830	CREDIT	10/21/2024	1,404.00-	.00	
7508	POINT S DRIGGS	6013870	TIRES	10/24/2024	3,359.76	.00	
Total 7508:					8,851.37	.00	
6483	PREMIER TRUCK- SALT LAKE C	775649388	BRAKES	10/24/2024	662.96	.00	
Total 6483:					662.96	.00	
4922	PREMIER VEHICLE INSTALLATI	45653	STREAMLINE	10/22/2024	964.62	.00	
Total 4922:					964.62	.00	
1839	RAFTER J IMPROV/SERV DIST	4764	WATER @ ANIMAL SLTR	10/01/2024	146.43	.00	
Total 1839:					146.43	.00	
6982	RODAC, LLC	4894-04	PROGRESS BILLING #4	01/24/2024	7,662.80	.00	
Total 6982:					7,662.80	.00	
5812	RUI INC. DBA VILLAGE GARDN	4199	145 w hansen	09/30/2024	353.06	.00	
5812	RUI INC. DBA VILLAGE GARDN	4200	455 vine	09/30/2024	172.50	.00	
Total 5812:					525.56	.00	
3694	RUSH INTERNATIONAL TRUCK	3038625858	INJECTORS	09/03/2024	4,575.18	.00	
3694	RUSH INTERNATIONAL TRUCK	3038773639	dPF AND DOC	09/16/2024	4,054.43	.00	
Total 3694:					8,629.61	.00	
7203	SCHWARTZ, ANDY	102524	lobby services 4/12	10/25/2024	4,583.33	.00	
Total 7203:					4,583.33	.00	
201	SENIOR CENTER OF JACKSON	18299	1ST QUARTER PAYMENT	09/11/2024	35,505.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 201:					35,505.00	.00	
231	SHERVIN'S INDEPENDENT OIL	54350	ALIGNMENT	10/09/2024	90.10	.00	
Total 231:					90.10	.00	
4359	SHERWIN-WILLIAMS CO.	0045-2	PAINT	10/17/2024	70.53	.00	
Total 4359:					70.53	.00	
7050	SOSA'S JANITORIAL SERVICE	0000087	TOWN HALL CLEANING	10/01/2024	6,660.00	.00	
7050	SOSA'S JANITORIAL SERVICE	0000088	TOWN HALL CLEANING	10/01/2024	540.00	.00	
Total 7050:					7,200.00	.00	
3961	SPECTRUM	173067801100	MONTHLY SERVICES	10/07/2024	99.99	.00	
Total 3961:					99.99	.00	
7227	STEPHENS, TALON	102224	IT HARDWARE	10/22/2024	77.83	.00	
Total 7227:					77.83	.00	
7532	TALISMAN CIVIL CONSULTANTS	4182	23-134-02 TOJ SEWER	09/12/2024	1,500.00	.00	
7532	TALISMAN CIVIL CONSULTANTS	4338	09.01.24 TO 09.28.24 TOJ SEWE	10/08/2024	4,910.00	.00	
7532	TALISMAN CIVIL CONSULTANTS	4338	09.01.24 TO 09.28.24 TOJ SEWE	10/08/2024	2,620.00	.00	
7532	TALISMAN CIVIL CONSULTANTS	4338	09.01.24 TO 09.28.24 TOJ SEWE	10/08/2024	2,435.00	.00	
Total 7532:					11,465.00	.00	
6554	TETON COUNTY HISTORIC	102324	fy23 CONTRACT	10/23/2024	40,275.00	.00	
Total 6554:					40,275.00	.00	
581	TETON COUNTY INTEGRATED	10227	EWASTE	10/15/2024	33.00	.00	
581	TETON COUNTY INTEGRATED	696807	YARD WASTE	10/09/2024	10.00	.00	
Total 581:					43.00	.00	
2362	TETON COUNTY PUBLIC HEALT	25-1486	DRINKING WATER TESTS	10/09/2024	200.00	.00	
Total 2362:					200.00	.00	
6902	TETON COUNTY PUBLIC WORK	2025-2	TASK WORK ORDER #1 GRANT	10/10/2024	3,125.63	.00	
6902	TETON COUNTY PUBLIC WORK	2025-2	TASK WORK ORDER #2 STILSO	10/10/2024	4,627.31	.00	
Total 6902:					7,752.94	.00	
7475	TETON LUNCH COUNTER	2123CM	CATERING	10/18/2024	5,304.00	.00	
Total 7475:					5,304.00	.00	
268	TETON MOTORS INC	5111380 1	MOULDING AND DOOR	10/03/2024	88.14	.00	
268	TETON MOTORS INC	5111436 1	PURGE VALVE	10/10/2024	59.85	.00	
Total 268:					147.99	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
270	TETON RENTAL CENTER	152356	PRESSURE WASHER TRAILER	10/02/2024	209.50	.00	
Total 270:					209.50	.00	
298	TETON YOUTH & FAMILY SERVI	8800	1ST QUARTER PAYMENT	09/30/2024	102,226.00	.00	
Total 298:					102,226.00	.00	
154	THE CHILDREN'S LEARNING C	091624	1ST QUARTER PAYMENT	09/16/2024	37,822.75	.00	
154	THE CHILDREN'S LEARNING C	100124	2ND QUARTER PAYMENT	10/01/2024	37,822.75	.00	
Total 154:					75,645.50	.00	
6810	THE TIRE RACK, INC.	MT19234	TIRES	10/22/2024	2,076.40	.00	
Total 6810:					2,076.40	.00	
70	THYSSEN KRUPP ELEVATOR C	5002573051	labor repairs	09/04/2024	361.00	.00	
Total 70:					361.00	.00	
6363	TMSC LLC	2024-005-12 1	SKEC	10/22/2024	120.00	.00	
6363	TMSC LLC	2024-005-12 1	GENERAL	10/22/2024	120.00	.00	
6363	TMSC LLC	2024-005-12 1	SERVER ROOM	10/22/2024	2,348.66	.00	
6363	TMSC LLC	2024-005S-03	STREET LIGHT REPAIR	10/23/2024	756.00	.00	
Total 6363:					3,344.66	.00	
706	USA BLUE BOOK	INV00510665	SHUT OFF TOOL COMBO	10/11/2024	775.83	.00	
Total 706:					775.83	.00	
1949	VERIZON WIRELESS	101624	ACCOUNT #087145176300001	10/16/2024	119.02	.00	
1949	VERIZON WIRELESS	9975277683	MONTHLY SERVICES	10/01/2024	10,229.36	.00	
Total 1949:					10,348.38	.00	
3420	VISA	Admin 6864 09	BIG SKY-COMMUNITY DEVELO	09/23/2024	11.70	11.70	10/25/2024
3420	VISA	Admin 6864 09	BIG SKY-COMMUNITY DEVELO	09/23/2024	10.40	10.40	10/25/2024
3420	VISA	Admin 6864 09	PLANETIZEN-ADMINISTRATION	09/23/2024	37.49	37.49	10/25/2024
3420	VISA	Animal 2344 09	PINE NEEDLE -ANIMAL SHELTE	09/23/2024	178.50	178.50	10/25/2024
3420	VISA	Animal 2344 09	SHERWIN WILLIAMS-ANIMAL S	09/23/2024	22.20	22.20	10/25/2024
3420	VISA	Animal 2344 09	ACE HARDWARE-ANIMAL SHEL	09/23/2024	4.76	4.76	10/25/2024
3420	VISA	Animal 2344 09	TETON RENTAL-ANIMAL SHEL	09/23/2024	14.84	14.84	10/25/2024
3420	VISA	Animal 2344 09	SHERWIN WILLIAMS-ANIMAL S	09/23/2024	161.18	161.18	10/25/2024
3420	VISA	Animal 2344 09	SMITH-ANIMAL SHELTER/CONT	09/23/2024	27.96	27.96	10/25/2024
3420	VISA	Animal 2344 09	STAPLES-ANIMAL SHELTER/CO	09/23/2024	27.98	27.98	10/25/2024
3420	VISA	Animal 2344 09	DAIRY QUEEN-ANIMAL SHELTE	09/23/2024	59.95	59.95	10/25/2024
3420	VISA	Animal 2344 09	SHERWIN WILLIAMS-ANIMAL S	09/23/2024	13.60	13.60	10/25/2024
3420	VISA	Animal 2344 09	SMTIHS-ANIMAL SHELTER/CON	09/23/2024	75.94	75.94	10/25/2024
3420	VISA	Animal 2344 09	JACKSON HOLE NEWS & GUID	09/23/2024	592.20	592.20	10/25/2024
3420	VISA	Animal 2344 09	PETS PLACE PLUS-ANIMAL SH	09/23/2024	76.31	76.31	10/25/2024
3420	VISA	Animal 2344 09	ALBERTSONS-ANIMAL SHELTE	09/23/2024	4.55	4.55	10/25/2024
3420	VISA	CD 1016 09/23	CASPER STAR TRIBUNE-COMM	09/23/2024	16.99	16.99	10/25/2024
3420	VISA	Council 6593 0	PEARL STREET-TOWN-WIDE S	09/23/2024	35.09	35.09	10/25/2024
3420	VISA	Council 6593 0	ALBERTSONS-TOWN-WIDE SE	09/23/2024	140.82	140.82	10/25/2024
3420	VISA	Finance 5412 0	SNAKE RIVER ROASTING-TOW	09/23/2024	110.00	110.00	10/25/2024
3420	VISA	PD 0355 09/23/	QDOBA-POLICE - PATROL	09/23/2024	31.71	31.71	10/25/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
3420 VISA		PD 0355 09/23/	PET PLACE PLUS-POLICE - PAT	09/23/2024	106.45	106.45	10/25/2024
3420 VISA		PD 0355 09/23/	TOWN PLAZE SUITES-POLICE -	09/23/2024	241.92	241.92	10/25/2024
3420 VISA		PD 0355 09/23/	COST CUTTER-POLICE - PATR	09/23/2024	40.27	40.27	10/25/2024
3420 VISA		PD 0355 09/23/	LOVES-POLICE - PATROL	09/23/2024	30.01	30.01	10/25/2024
3420 VISA		PD 0355 09/23/	TETON COUNTY CLERK-PERS	09/23/2024	25.55	25.55	10/25/2024
3420 VISA		PD 0355 09/23/	CREEKSIDE MARKET-TOWN-WI	09/23/2024	358.98	358.98	10/25/2024
3420 VISA		PD 0355 09/23/	E RENTER-EMPLOYEE HOUSIN	09/23/2024	21.95	21.95	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	29.79	29.79	10/25/2024
3420 VISA		PD 0355 09/23/	FIVE GUYS-POLICE - PATROL	09/23/2024	35.12	35.12	10/25/2024
3420 VISA		PD 0355 09/23/	ARCO-POLICE - PATROL	09/23/2024	38.06	38.06	10/25/2024
3420 VISA		PD 0355 09/23/	CHEVRON-POLICE - PATROL	09/23/2024	67.80	67.80	10/25/2024
3420 VISA		PD 0355 09/23/	CHEVRON-POLICE - PATROL	09/23/2024	39.03	39.03	10/25/2024
3420 VISA		PD 0355 09/23/	AMAZON-PERSONNEL/TOWN C	09/23/2024	58.20	58.20	10/25/2024
3420 VISA		PD 0355 09/23/	LOAF N JUG-TOWN-WIDE SERV	09/23/2024	3.39	3.39	10/25/2024
3420 VISA		PD 0355 09/23/	TJ MAXX-PERSONNEL/TOWN C	09/23/2024	50.00	50.00	10/25/2024
3420 VISA		PD 0355 09/23/	BUFFALO WILD WINGS-POLICE	09/23/2024	60.42	60.42	10/25/2024
3420 VISA		PD 0355 09/23/	TETON TAILS-POLICE - PATROL	09/23/2024	46.63	46.63	10/25/2024
3420 VISA		PD 0355 09/23/	5.11 INC-POLICE - PATROL	09/23/2024	178.08	178.08	10/25/2024
3420 VISA		PD 0355 09/23/	JTS BBQ-POLICE - PATROL	09/23/2024	25.07	25.07	10/25/2024
3420 VISA		PD 0355 09/23/	PHILLIPS-POLICE - PATROL	09/23/2024	60.00	60.00	10/25/2024
3420 VISA		PD 0355 09/23/	VALLEY WIDE-START	09/23/2024	62.53	62.53	10/25/2024
3420 VISA		PD 0355 09/23/	TJ MAXX-TOWN-WIDE SERVICE	09/23/2024	80.48	80.48	10/25/2024
3420 VISA		PD 0355 09/23/	E RENTER-EMPLOYEE HOUSIN	09/23/2024	21.95	21.95	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	19.45	19.45	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	15.89	15.89	10/25/2024
3420 VISA		PD 0355 09/23/	SHORES RESTAURANT-POLICE	09/23/2024	40.08	40.08	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	72.00	72.00	10/25/2024
3420 VISA		PD 0355 09/23/	STAPLES-PERSONNEL/TOWN C	09/23/2024	8.47	8.47	10/25/2024
3420 VISA		PD 0355 09/23/	ALBERTSONS-TOWN-WIDE SE	09/23/2024	10.48	10.48	10/25/2024
3420 VISA		PD 0355 09/23/	AMAZON-TOWN-WIDE SERVICE	09/23/2024	14.18	14.18	10/25/2024
3420 VISA		PD 0355 09/23/	E RENTER-EMPLOYEE HOUSIN	09/23/2024	21.95	21.95	10/25/2024
3420 VISA		PD 0355 09/23/	TEXAS ROADHOUSE-POLICE -	09/23/2024	52.48	52.48	10/25/2024
3420 VISA		PD 0355 09/23/	AMERICAN RED CROSS-POLIC	09/23/2024	350.00	350.00	10/25/2024
3420 VISA		PD 0355 09/23/	HALF SUN TRAVEL PLAZA-POLI	09/23/2024	23.04	23.04	10/25/2024
3420 VISA		PD 0355 09/23/	CALIFORNIA TACO-POLICE - PA	09/23/2024	38.59	38.59	10/25/2024
3420 VISA		PD 0355 09/23/	PET CO-POLICE SPECIAL OPE	09/23/2024	86.38	86.38	10/25/2024
3420 VISA		PD 0355 09/23/	PEARL STREET-TOWN-WIDE S	09/23/2024	187.80	187.80	10/25/2024
3420 VISA		PD 0355 09/23/	WHOLE FOODS-TOWN-WIDE S	09/23/2024	6.49	6.49	10/25/2024
3420 VISA		PD 0355 09/23/	PICNIC-PERSONNEL/TOWN CL	09/23/2024	50.00	50.00	10/25/2024
3420 VISA		PD 0355 09/23/	EFCOMBATIVES-POLICE - PATR	09/23/2024	39.95	39.95	10/25/2024
3420 VISA		PD 0355 09/23/	MCDONALDS-POLICE - PATROL	09/23/2024	21.27	21.27	10/25/2024
3420 VISA		PD 0355 09/23/	76 GOODIES-POLICE - PATROL	09/23/2024	50.02	50.02	10/25/2024
3420 VISA		PD 0355 09/23/	CHISPITA-POLICE - PATROL	09/23/2024	22.56	22.56	10/25/2024
3420 VISA		PD 0355 09/23/	CHEVRON-POLICE - PATROL	09/23/2024	20.02	20.02	10/25/2024
3420 VISA		PD 0355 09/23/	INDEED-START	09/23/2024	135.77	135.77	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-TOWN-WIDE SERVICES	09/23/2024	4.69	4.69	10/25/2024
3420 VISA		PD 0355 09/23/	WHOLE FOODS-PERSONNEL/T	09/23/2024	25.00	25.00	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	20.75	20.75	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	40.03	40.03	10/25/2024
3420 VISA		PD 0355 09/23/	SNAKE RIVER ROASTING-POLI	09/23/2024	55.00	55.00	10/25/2024
3420 VISA		PD 0355 09/23/	SHORES RESTAURANT-POLICE	09/23/2024	40.08	40.08	10/25/2024
3420 VISA		PD 0355 09/23/	ERENTER-EMPLOYEE HOUSIN	09/23/2024	21.95	21.95	10/25/2024
3420 VISA		PD 0355 09/23/	WHOLE FOODS-TOWN-WIDE S	09/23/2024	14.98	14.98	10/25/2024
3420 VISA		PD 0355 09/23/	HAMPTON INN-PERSONNEL/TO	09/23/2024	321.00	321.00	10/25/2024
3420 VISA		PD 0355 09/23/	E RENTER-EMPLOYEE HOUSIN	09/23/2024	21.95	21.95	10/25/2024
3420 VISA		PD 0355 09/23/	EXXON-POLICE - PATROL	09/23/2024	7.91	7.91	10/25/2024
3420 VISA		PD 0355 09/23/	5.11 INC-POLICE - PATROL	09/23/2024	695.36	695.36	10/25/2024
3420 VISA		PD 0355 09/23/	SHORES RESTAURANT-POLICE	09/23/2024	40.08	40.08	10/25/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
3420	VISA	PD 0355 09/23/	PAC COAST K9-POLICE SPECIA	09/23/2024	65.00	65.00	10/25/2024
3420	VISA	PD 0355 09/23/	INDEED-PERSONNEL/TOWN CL	09/23/2024	116.79	116.79	10/25/2024
3420	VISA	PD 0355 09/23/	ALBERTSONS-TOWN-WIDE SE	09/23/2024	101.36	101.36	10/25/2024
3420	VISA	PD 0355 09/23/	MAVERIK-PERSONNEL/TOWN C	09/23/2024	25.00	25.00	10/25/2024
3420	VISA	PD 1064 09/23/	REG RAMKOTA-POLICE - PATR	09/23/2024	253.12	253.12	10/25/2024
3420	VISA	PD 1064 09/23/	TAC GEAR-POLICE - PATROL	09/23/2024	35.58	35.58	10/25/2024
3420	VISA	PD 1064 09/23/	GALLS-POLICE - PATROL	09/23/2024	226.21	226.21	10/25/2024
3420	VISA	PD 1064 09/23/	5.11 INC-POLICE - PATROL	09/23/2024	869.20	869.20	10/25/2024
3420	VISA	PD 1064 09/23/	STAYBRIDGE-POLICE - PATROL	09/23/2024	162.61	162.61	10/25/2024
3420	VISA	PD 1064 09/23/	KORE ESSENTIALS-POLICE - P	09/23/2024	560.78	560.78	10/25/2024
3420	VISA	PW 4142 09/23	AMAZON-PUBLIC WORKS	09/23/2024	44.44	44.44	10/25/2024
3420	VISA	PW 4142 09/23	AMAZON-TOWN HALL BUILDIN	09/23/2024	172.88	172.88	10/25/2024
3420	VISA	PW 4142 09/23	AMAZON-PUBLIC WORKS	09/23/2024	20.76	20.76	10/25/2024
3420	VISA	PW 4142 09/23	STAPLES-SEWER DEPARTMEN	09/23/2024	26.49	26.49	10/25/2024
3420	VISA	PW 4142 09/23	AMAZON-EMPLOYEE HOUSING	09/23/2024	178.84	178.84	10/25/2024
3420	VISA	PW 4142 09/23	LOWES-EMPLOYEE HOUSING	09/23/2024	888.26	888.26	10/25/2024
3420	VISA	PW 4142 09/23	ROOSEVELT-WATER DEPARTM	09/23/2024	227.21	227.21	10/25/2024
3420	VISA	PW 4142 09/23	TARGET-EMPLOYEE HOUSING	09/23/2024	57.21	57.21	10/25/2024
3420	VISA	PW 4704 09/23	TETON COUNTY CLERK-TOWN	09/23/2024	19.55	19.55	10/25/2024
3420	VISA	PW 4704 09/23	APPLIANCE PARTS-ANIMAL SH	09/23/2024	228.09	228.09	10/25/2024
3420	VISA	PW 4704 09/23	AMAZON-FLEET SHOP	09/23/2024	56.42-	56.42-	10/25/2024
3420	VISA	Victim 9126 09/	STAPLES-VICTIM SERVICES	09/23/2024	44.21	44.21	10/25/2024
3420	VISA	Victim 9126 09/	WY CHILD SUPPORT-VICTIM SE	09/23/2024	1.50	1.50	10/25/2024
3420	VISA	Victim 9126 09/	COCA COLA-VICTIM SERVICES	09/23/2024	18.88	18.88	10/25/2024
3420	VISA	Victim 9126 09/	STAPLES-VICTIM SERVICES	09/23/2024	66.96	66.96	10/25/2024
3420	VISA	Victim 9126 09/	WY DFS REGISTRATION-VICTI	09/23/2024	10.00	10.00	10/25/2024
3420	VISA	Victim 9126 09/	ALBERTSONS-VICTIM SERVICE	09/23/2024	39.21	39.21	10/25/2024
3420	VISA	Victim 9126 09/	4IMPRINT-VICTIM SERVICES	09/23/2024	467.50	467.50	10/25/2024
Total 3420:					10,802.72	10,802.72	
7330	VOICES JACKSON HOLE	TOJ2024-1	1ST QUARTER PAYMENT	09/24/2024	3,750.00	.00	
Total 7330:					3,750.00	.00	
6226	WEST COAST CODE CONSULT	UT24-579B-01	professional services	09/30/2024	1,170.00	.00	
Total 6226:					1,170.00	.00	
563	WESTBANK SANITATION	4629773T022	TRASH PICK UP @ WWTP-	10/01/2024	1,118.15	.00	
Total 563:					1,118.15	.00	
1640	WESTERN STATE	IN002870310	VALVE GP	08/25/2024	1,176.17	.00	
1640	WESTERN STATE	Q000375124-2	2024 CAT LOADER	10/07/2024	119,401.80	.00	
Total 1640:					120,577.97	.00	
6704	WSP USA ENVIRONMENT & INF	40097615	PROFESSIONAL SERVICES	10/11/2024	6,155.46	.00	
Total 6704:					6,155.46	.00	
4198	WYOMING FIRST AID & SAFETY	80008331	first aid kit resupply	10/14/2024	113.11	.00	
4198	WYOMING FIRST AID & SAFETY	80008332	first aid kit resupply	10/14/2024	116.19	.00	
4198	WYOMING FIRST AID & SAFETY	80008356	first aid kit resupply	10/16/2024	270.02	.00	
Total 4198:					499.32	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
7516	WYOMING IMMIGRANT ADVOC	TOJ-1002	SERVICES FUNDING	10/01/2024	3,750.00	.00	
Total 7516:					3,750.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001407917	940 simon	09/30/2024	24.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001408366	3150 ADAMS CANYON	09/30/2024	192.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001408373	400 WEST SNOW KING	09/30/2024	765.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001408377	155 east pearl	09/30/2024	190.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001408462	150 east pearl	09/30/2024	192.00	.00	
2842	YELLOW IRON EXCAVATION, LL	241001408465	675 west snow king	09/30/2024	344.00	.00	
Total 2842:					1,707.00	.00	
Grand Totals:					2,085,566.74	55,989.23	

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$0 included.

Paid and unpaid invoices included.

STAFF REPORT



Meeting Date:	November 4, 2024	Meeting Title:	Regular
Submitting Department:	Legal	Presenter:	Lea Colasuonno
Agenda Item:	Third Reading Ordinance Annexing Garaman Park	Public Comment:	Yes

Purpose & Policy Considerations.

The purpose of this item is for Council to consider the ordinance annexing Garaman Park into the Town on third reading.

Requested Action.

Staff requests Council review and considering moving to approve Ordinance O, an ordinance annexing Garaman Park into the Town, on third reading.

Recommendations.

Staff requests Council move to approve Ordinance O, an ordinance annexing Garaman Park into the Town, on third reading.

Background.

Garaman Park is solely owned by the Town and lies adjacent to the Town, yet it is *outside* the Town's corporate limits as illustrated by the yellow highlighted parcel in the map below. As a result, **first**, the Town Code does not apply in Garaman Park (though the public often believe it does), and **second**, law enforcement responsibility formally lies with the Sheriff, often confusing those calling for services.



The Chief of Police and the Teton County Sheriff's Office have both requested that Garaman Park be annexed into the Town, thus the presentation of this item to Council to consider initiating an annexation pursuant to Wyo. Stat. § 15-1-404.

On September 9, 2024 Council moved to initiate annexation proceedings to annex Russ Garaman Park into the Town pursuant to Wyo. Stat. §15-1-404, certified compliance of the area with Wyo. Stat. §15-1-402, and directed staff to proceed with annexation.

Analysis & Key Policy Questions.

Analysis and policy questions were resolved at the September 9, 2024 meeting.

Possible Alternatives.

Council could elect not to annex Garaman Park.

Comprehensive Plan & Priority Alignment.

This item ensures responsible growth management, Common Value 2, and maintains the quality of life of residents, Common Value 3.

Fiscal Impact.

There is no significant fiscal impact to this item since Garaman Park is already owned by the Town and managed and maintained by the joint Parks and Recreation Department. The Jackson Police Department does find it is appropriate that the Town Code applies in Garaman Park, but does not anticipate appreciable cost increases when that occurs.

Attachments or Links.

Ordinance 1393

Suggested Motion.

I move to approve ordinance O on third reading and designate it Ordinance 1393.

ORDINANCE 1393

AN ORDINANCE ANNEXING RUSS GARAMAN PARK TO THE TOWN OF JACKSON, TETON COUNTY, WYOMING; AMENDING THE ZONING DISTRICT MAP TO INCLUDE THE ANNEXED PROPERTY AND CLASSIFYING IT AS A PART OF THE PUBLIC / SEMI-PUBLIC ZONING DISTRICT; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JACKSON, WYOMING, IN REGULAR SESSION DULY ASSEMBLED, THAT:

SECTION I.

The Town of Jackson hereby finds as follows:

- a. That area to be annexed is Russ Garaman Park, which is solely owned by the Town of Jackson;
- b. The Town Council of the Town of Jackson initiated proceedings to annex Russ Garaman Park to the corporate limits of the Town of Jackson and to make it a part thereof;
- c. That a legal description and an accurate map and survey of Russ Garaman Park were prepared by Patrick W. Gilroy, a Professional Land Surveyor, licensed in the State of Wyoming, and are attached hereto and incorporated herein as *Exhibit A* and *Exhibit B*;
- d. That the required procedures for an annexation have been met, and that, pursuant to W.S. § 15-1-407, the Town of Jackson is authorized to annex this area without notice or a public hearing as provided in W.S. § 15-1-405 and without preparing an annexation report or providing the estimates required by W.S. § 15-1-402(c) and (e) and § 15-1-404(a)(ii)(C) and (D) since Russ Garaman Park is solely owned by the Town of Jackson; and
- e. That the conditions required by W.S. § 15-1-402 for the annexation of Russ Garaman Park exist in that:
 - a. The annexation of the area is for the protection of health, safety, and welfare of the persons residing in the area and the Town of Jackson;
 - b. The annexation of the area constitutes a natural, geographical, economical, and social part of the Town of Jackson;
 - c. The area is a logical and feasible addition to the Town of Jackson and the extension of basic and other services customarily available to residents of the Town of Jackson will, within reason, be available to the area;
 - d. The area is contiguous with and adjacent to the Town of Jackson, and the area meets the requirements of W.S. § 15-1-407;
 - e. The Town of Jackson does not own or operate its own electrical utility, and, as such, the Town Council is prepared to issue franchises, or amend current franchises, as necessary to serve the area pursuant to W.S. §15-1-410; and
 - f. The Town of Jackson may annex the area pursuant to W.S. § 15-1-407 without notice or a public hearing as required by W.S. § 15-1-405 and without preparing an annexation report since the Town of Jackson is the sole owner of the area. Nonetheless, the Town of Jackson, not less than twenty (20) business days prior to the hearing to consider the initiation of the annexation at a Regular Town Council Meeting on September 9, 2024, sent by certified mail to all affected public utilities within the area and by first class mail to any persons owning property that is adjacent to or within three hundred (300) feet of the area notice of the time, date, and location of the hearing and a summary of the proposed annexation.

SECTION II.

That all the real property described in Exhibit A as Russ Garaman Park is hereby annexed to the Town of Jackson, Teton County, Wyoming, and shall become a part thereof.

SECTION III.

Upon this Ordinance taking effect, the corporate limits of the Town of Jackson and boundary lines thereof shall show and include the real property described in Exhibit A as Russ Garaman Park as being within the Town of Jackson.

SECTION VI.

The Official Zoning District Map of the Town of Jackson is hereby amended to include the property described in Exhibit A as Russ Garaman Park in the Public / Semi-Public zoning district. If subject to the scenic resources overlay and/or natural resources overlay designations on the current Teton County zoning map, said designation shall also apply after the property is annexed into the Town.

SECTION V.

The Clerk of the Town of Jackson is hereby authorized and directed to file a certified copy hereof with the County Clerk of Teton County, Wyoming.

SECTION VI.

This Ordinance shall be in full force and effect upon its publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED, APPROVED, AND ADOPTED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

Hailey Morton Levinson, Mayor

ATTEST:

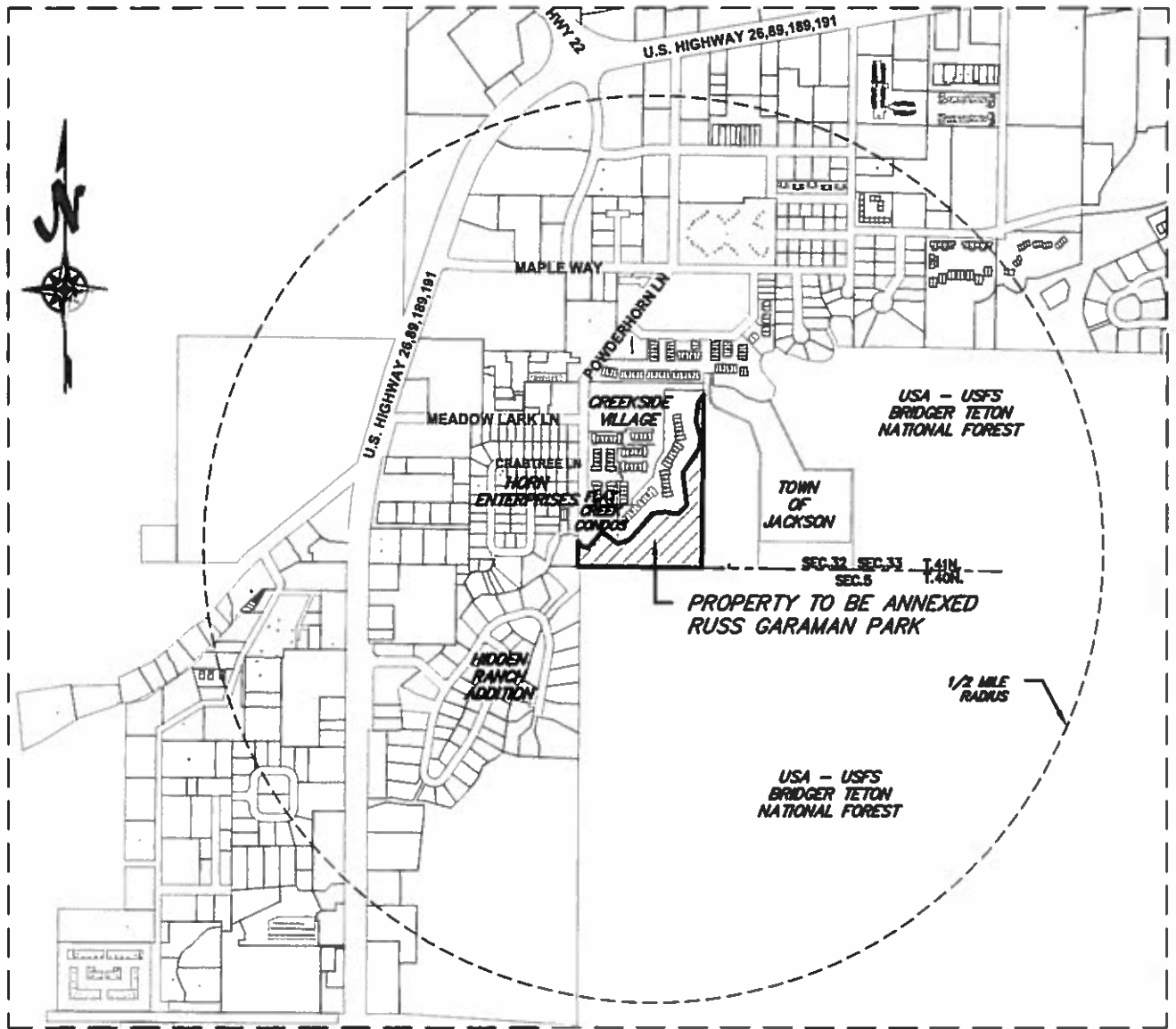
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. ____ was duly published in the Jackson Hole News & Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the ____ day of _____, 2024. I further certify that the foregoing Ordinance was duly recorded on page ____ in Book ____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk



SCALE: 1" = 1000'



HARMONY
DESIGN & ENGINEERING

18 N MAIN STE 305 • DRIGGS ID 83422
208.354.1331 • www.harmonydesigninc.com

PROJ. NO.: 24074_TOJ-ANNEX; Date: August 20, 2024

EXHIBIT A
TOWN OF JACKSON
RUSS GARAMAN PARK ANNEXATION
LOCATED WITHIN
SECTION 32, T. 41 N., R. 116 W., 6th P.M.,
TETON COUNTY, WYOMING

NOTES

THIS MAP OF SURVEY WAS PREPARED AT THE REQUEST OF THE TOWN OF JACKSON TO ANNEX THAT EXISTING TRACT OF LAND AS DESCRIBED IN THAT DEED RECORDED IN BOOK 281 PAGE 0786-0787 IN THE OFFICE OF THE CLERK OF TETON COUNTY, WYOMING, BEING FURTHER KNOWN AS THE RUSS GARAMAN PARK.

THE BASIS OF BEARINGS FOR THIS SURVEY IS REFERENCED TO A DIRECT GPS MEASUREMENT FROM GEODETIC NORTH (USING WGS 84, NAD 83(2011), EPOCH2010.0000), RESULTING IN A BEARING OF S 89°21'11" E BETWEEN THE NORTH QUARTER CORNER OF SECTION 5 AND THE NORTHEAST CORNER OF SECTION 5 TOWNSHIP 43 NORTH, RANGE 118 WEST, 6TH P.M., TETON COUNTY, WYOMING, AS SHOWN HEREON.

RECORD INFORMATION SHOWN HEREON ARE REFERENCED TO THOSE MAPS OF SURVEYS FILED IN THE OFFICE OF THE CLERK OF TETON COUNTY, WYOMING AS INSTRUMENT NUMBER(S); (REC-A T-31F); (REC-C T-31C); (PLAT 791, B34); (REC-B DOC. 365399; BOOK 281 PAGE 0786-0787).

NO IMPROVEMENTS, FENCE-LINES, UNDERGROUND UTILITIES, SUBSURFACE IMPROVEMENTS, OR WETLANDS WERE MAPPED AS PART OF THIS SURVEY EXCEPT WHERE SPECIALLY INDICATED.

EASEMENTS OF SIGHT AND RECORD NOT SHOWN HEREON MAY EXIST.

LEGEND

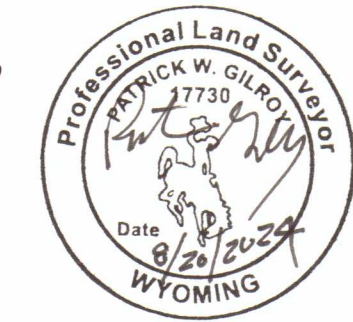
- INDICATES A PLSS MONUMENT FOUND THIS SURVEY AS NOTED, LAND CORNER RECORD ON FILE
- INDICATES A T-SHAPED STAKE WITH METAL CAP INSCRIBED "RLS 164", FOUND THIS SURVEY
- INDICATES A 5/8 INCH DIAMETER REBAR WITH AN ALUMINUM CAP INSCRIBED "LS 578"
- CALCULATED POINT NOTHING FOUND OR SET

- TRACT BOUNDARY LINE TO BE ANNEXED
- TRACT BOUNDARY LINE OF SUBJECT PROPERTY TO BE ANNEXED, COINCIDENT WITH THE THREAD OF FLAT CREEK AS SURVEYED SPRING OF 2024
- ADJOINING PARCEL LINE
- SECTION LINE
- BANK OF FLAT CREEK
- EDGE OF PEDESTRIAN PATHWAY
- CENTERLINE OF TRAIL

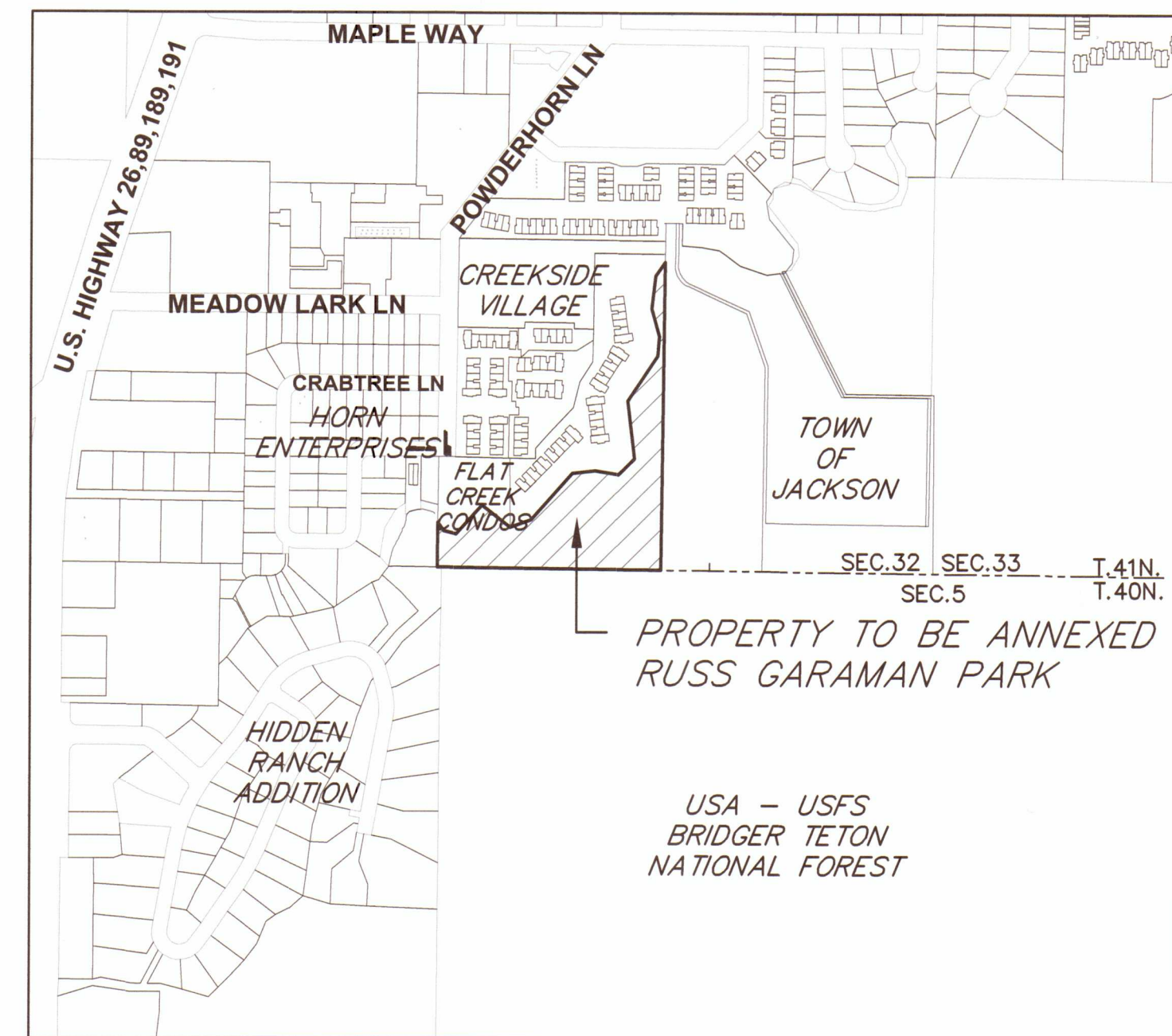
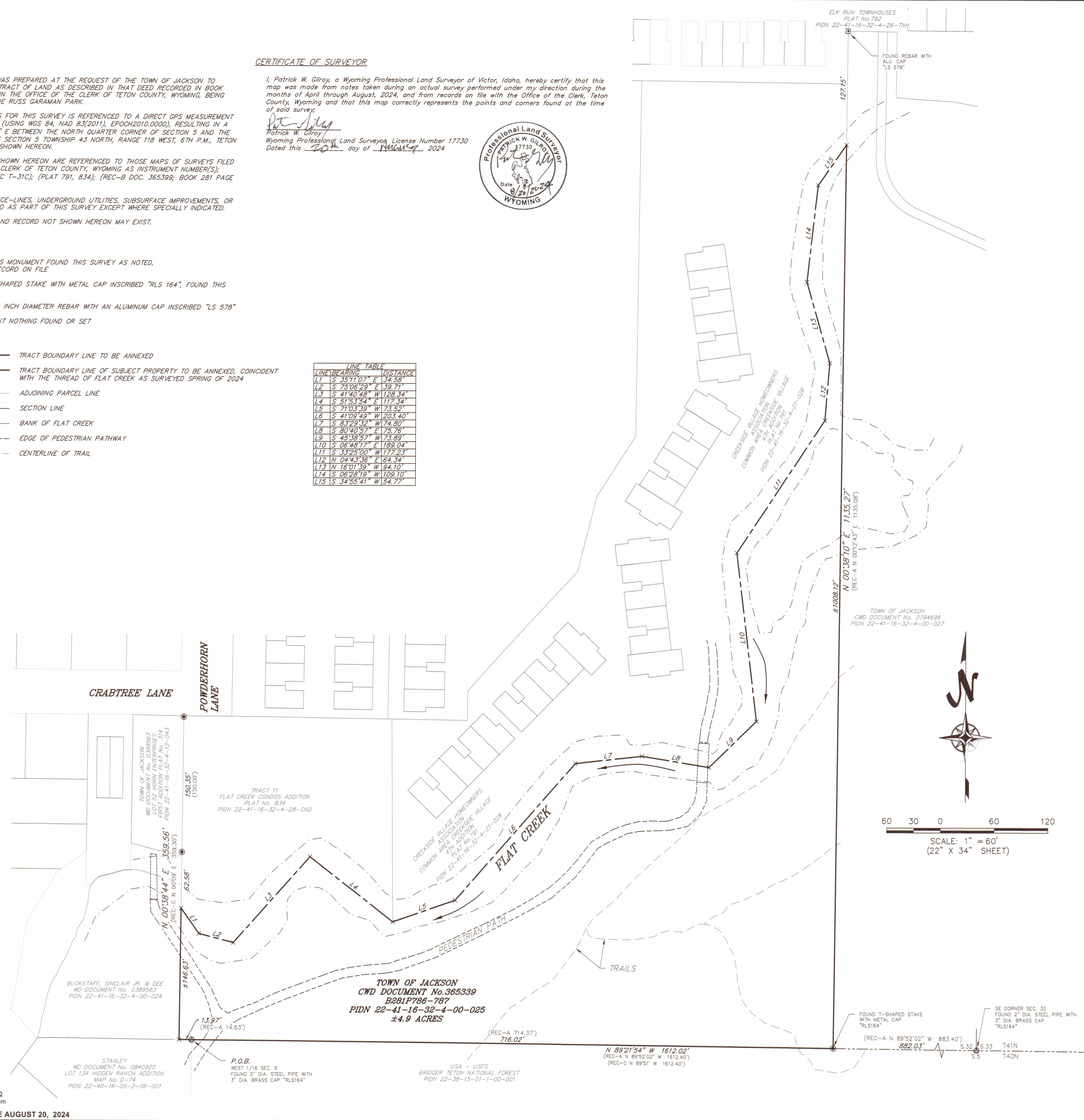
CERTIFICATE OF SURVEYOR

I, Patrick W. Gilroy, a Wyoming Professional Land Surveyor of Victor, Idaho, hereby certify that this map was made from notes taken during an actual survey performed under my direction during the months of April through August, 2024, and from records on file with the Office of the Clerk, Teton County, Wyoming and that this map correctly represents the points and corners found at the time of said survey.

Patrick W. Gilroy
Wyoming Professional Land Surveyor License Number 17730
Dated this 20th day of August, 2024



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 35°11'07" E	34.58'
L2	S 75°06'29" E	39.71'
L3	S 41°40'48" W	128.34'
L4	S 51°53'54" E	117.34'
L5	S 71°03'39" E	73.52'
L6	S 41°09'49" W	203.40'
L7	S 83°29'32" E	74.80'
L8	S 80°40'57" E	75.76'
L9	S 45°38'57" W	73.89'
L10	S 06°48'17" E	189.04'
L11	S 33°25'00" E	177.23'
L12	N 04°43'36" E	64.34'
L13	N 16°01'39" W	94.10'
L14	S 06°28'19" E	109.10'
L15	S 34°55'41" W	54.77'



RUSS GARAMAN PARK LEGAL DESCRIPTION TO BE ANNEXED

A tract of land as described in Corrective Warranty Deed filed in Book 281 of Photo on Page 0786-0787 in the Office of the Clerk of Teton County, Wyoming, being situated in the South One-Half of the Southeast One-Quarter (S1/2SE1/4) of Section 32, Township 41 North, Range 116 West, 6th Principle Meridian, Teton County, Wyoming, being more particularly described as follows:

BEGINNING at the West One-Sixteenth Corner of Section 5, Township 40 North, Range 116 West, 6th Principle Meridian, Teton County, Wyoming, where is a found monument as described in that Wyoming Corner Record on file in said Office as document number A840115-19840808;
THENCE N 89°21'54" E, 13.97 feet, along the Section line common to said Section 5 and Section 32, to the Southwest corner of that tract of record filed in Book 10 of Photo on Page 222 in said Office;
THENCE N 00°38'44" E, 146.63 feet, more or less, along the West line of said tract to a point of intersection with the thread of Flat Creek;
THENCE following said thread upstream through the following described courses,
THENCE S 35°11'07" E, 34.58 feet;
THENCE S 75°06'29" E, 39.71 feet;
THENCE N 41°40'48" E, 128.34 feet;
THENCE S 51°53'54" E, 117.34 feet;
THENCE N 71°03'39" E, 73.52 feet;
THENCE N 41°09'49" E, 203.40 feet;
THENCE N 83°29'32" E, 74.80 feet;
THENCE S 80°40'57" E, 75.76 feet;
THENCE N 45°38'57" E, 73.89 feet;
THENCE N 06°48'17" W, 189.04 feet;
THENCE N 33°25'00" E, 177.23 feet;
THENCE N 04°43'36" E, 64.34 feet;
THENCE N 16°01'39" W, 94.10 feet;
THENCE N 06°28'19" E, 109.10 feet;
THENCE N 34°55'41" E, 54.77 feet, more or less, to a point of intersection with the west line of that parcel of record filed in Book 783 of Photo on Page 741-748;
THENCE departing said thread of Flat Creek, S 00°38'10" W, 1008.12 feet, more or less, along said West line to the Southwest corner of said parcel, said corner being monumented by a T-Shaped Stake with metal cap inscribed "RLS164";
THENCE N 89°21'54" W, 716.02 feet, along the Section line common to said Section 5 and Section 32 to the **POINT OF BEGINNING**.

Said Tract Encompasses 4.90 acres, more or less, the area will vary as the thread of Flat Creek varies.

TOGETHER WITH and SUBJECT TO any easements, rights-of-ways, covenants, conditions, restrictions, agreements, reservations or encumbrances of sight and/or record.

EXHIBIT B
SURVEY TO ACCOMPANY
TOWN OF JACKSON
RUSS GARAMAN PARK ANNEXATION
LOCATED WITHIN
S1/2SE1/4, SECTION 32, T. 41 N., R. 116 W., 6th P.M.,
TETON COUNTY, WYOMING

STAFF REPORT



Meeting Date:	November 4, 2024	Meeting Title:	Special Town Council Meeting
Submitting Department:	Planning Department	Presenter:	Paul Anthony
Agenda Item:	Second Reading Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z to amend various sections of the LDRs to address the building size moratorium (PM24-004)	Public Comment:	Yes

Purpose & Policy Considerations.

To approve at second reading Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z to update the Town of Jackson's Land Development Regulations (LDRs) to address the size and scale of large buildings as part of an emergency moratorium.

Requested Action.

Request to approve at second reading Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z which would modify the Town of Jackson's LDRs regarding the size and scale of large buildings. Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z would modify the following sections of the LDRs:

- 2.2 – Complete Neighborhood Character Zones
- 5.8 – Design Guidelines
- 6.1.5 – Lodging Uses
- 7.8.4 – Workforce Housing Floor Area Bonus

Recommendation.

The Planning Director recommends Council approve at second reading proposed Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z as presented in this staff report.

Background.

At the October 21, 2024, Regular Council meeting, staff presented Council approved all of the ordinances at first reading. At that meeting, the Council changed the LDR text to allow an underground walkway (hallway) to connect individual buildings, delete the removal of the exemption from development review thresholds for 2:1 bonus floor area, and corrected the short title to Ordinance Y to clarify that Sketch Plan is the threshold for a CUP for large buildings. The October 21, 2024, staff report for first reading referencing PM24-004 is attached hereto.

Public Comment.

No public comment has been received by staff at the time of this report.

Staff Findings.

Pursuant to Section 8.7.2 of the Town of Jackson Land Development Regulations, the advisability of amending the text of these LDRs is a matter committed to the legislative discretion of the Town Council and is not controlled by any one factor. In deciding to adopt, modify, or deny a proposed LDR Text Amendment the Town Council shall consider factors including, but not limited to, the extent to which the proposed amendment:

1. *Is consistent with the purposes and organization of the LDRs;*

Complies. The purposes of the LDRs per Division 1.3 are generally to implement the Comprehensive Plan and to promote the health, safety, and general welfare of the present and future inhabitants of the community. The proposed amendments support these purposes by seeking to address the negative impacts that overly large buildings have on our community character and quality of life presented in the Jackson/Teton County Comprehensive Plan.

2. *Improves the consistency of the LDRs with other provisions of the LDRs;*

Complies. The proposed amendments maintain consistency between various provisions of the LDRs related to building scale and character, such as the Design Guidelines.

3. *Provides flexibility for landowners within standards that clearly define desired character;*

Complies. The proposed amendments seek to balance predictability with flexibility for landowners. For example, the new maximum building sizes will require smaller buildings but the Town will work with landowners who may seek to construct multiple smaller buildings on their site to still try to achieve the landowner's primary goals.

4. *Is necessary to address changing conditions, public necessity, and/or state or federal legislation;*

Complies. The proposed amendments directly respond to increasing public frustration with the size, scale, and character of large, new buildings being constructed throughout Town. The proposed amendments are targeted to specifically mitigate and control the size of large buildings with the understanding that the local real estate market has become much more driven by larger format buildings often proposed by large, non-local entities.

5. *Improves implementation of the Comprehensive Plan; and*

Not Applicable. Not applicable per Wyoming State statute. This Text Amendment would remove this finding of approval.

6. *Is consistent with other adopted Town Ordinances.*

Complies. The proposed amendments maintains consistency between the LDRs and other adopted Town Ordinances.

Fiscal Impact.

None identified at this time.

Staff Impact.

The amount of staff time to research and draft this proposed text amendment and Ordinance is approximately 70 hours.

Attachments or Links.

Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z in redline
Staff Report PM24-004 dated October 21, 2024.

Suggested Motions.

I move to approve Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z on second reading.

STAFF REPORT



Meeting Date:	October 21, 2024	Meeting Title:	Regular Town Council Meeting
Submitting Department:	Planning Department	Presenter:	Paul Anthony
Agenda Item:	First Reading Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z to amend various sections of the LDRs to address the building size moratorium (PM24-004)	Public Comment:	Yes

Purpose & Policy Considerations.

To approve at first reading Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z to update the Town of Jackson's Land Development Regulations (LDRs) to address the size and scale of large buildings as part of an emergency moratorium.

Requested Action.

Request to approve at first reading Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z which would modify the Town of Jackson's LDRs regarding the size and scale of large buildings. Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z would modify the following sections of the LDRs:

- 2.2 – Complete Neighborhood Character Zones
- 5.8 – Design Guidelines
- 6.1.5 – Lodging Uses
- 7.8.4 – Workforce Housing Floor Area Bonus

Recommendation.

The Planning Director recommends Council approve at first reading proposed Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z as presented in this staff report.

Background.

At the October 7, 2024, Regular Council meeting, staff presented to Council a proposed LDR text amendments regarding the moratorium to address the size and scale of big buildings. Council directed staff to draft ordinances for first reading at the next available opportunity based on their feedback and direction. The October 7, 2024, staff report referencing PM24-004 is attached hereto.

The only addition made by staff not directly discussed by the Council was to add a subsection on "Submittal Requirements" for the new Conditional Use Process for big buildings. The proposed text is provided below:

"Submittal Requirements: Applicant shall submit studies of sufficient detail, as identified by staff at the preapplication meeting, to address anticipated impacts on traffic generation, environmental resources (e.g., wildlife permeability), historic resources, water quality (e.g., stormwater runoff, groundwater quality), and other important Town resources. Mitigation measures shall be included as part of any required study."

The purpose of this added section is to clarify that the Town can require specific studies from applicants to address anticipated impacts from large developments on important Town resources.

Public Comment.

No public comment has been received by staff at the time of this report.

Staff Findings.

Pursuant to Section 8.7.2 of the Town of Jackson Land Development Regulations, the advisability of amending the text of these LDRs is a matter committed to the legislative discretion of the Town Council and is not controlled by any one factor. In deciding to adopt, modify, or deny a proposed LDR Text Amendment the Town Council shall consider factors including, but not limited to, the extent to which the proposed amendment:

1. Is consistent with the purposes and organization of the LDRs;

Complies. The purposes of the LDRs per Division 1.3 are generally to implement the Comprehensive Plan and to promote the health, safety, and general welfare of the present and future inhabitants of the community. The proposed amendments support these purposes by seeking to address the negative impacts that overly large buildings have on our community character and quality of life presented in the Jackson/Teton County Comprehensive Plan.

2. Improves the consistency of the LDRs with other provisions of the LDRs;

Complies. The proposed amendments maintain consistency between various provisions of the LDRs related to building scale and character, such as the Design Guidelines.

3. Provides flexibility for landowners within standards that clearly define desired character;

Complies. The proposed amendments seek to balance predictability with flexibility for landowners. For example, the new maximum building sizes will require smaller buildings but the Town will work with landowners who may seek to construct multiple smaller buildings on their site to still try to achieve the landowner's primary goals.

4. Is necessary to address changing conditions, public necessity, and/or state or federal legislation;

Complies. The proposed amendments directly respond to increasing public frustration with the size, scale, and character of large, new buildings being constructed throughout Town. The proposed amendments are targeted to specifically mitigate and control the size of large buildings with the understanding that the local real estate market has become much more driven by larger format buildings often proposed by large, non-local entities.

5. Improves implementation of the Comprehensive Plan; and

Not Applicable. Not applicable per Wyoming State statute. This Text Amendment would remove this finding of approval.

6. *Is consistent with other adopted Town Ordinances.*

Complies. The proposed amendments maintains consistency between the LDRs and other adopted Town Ordinances.

Fiscal Impact.

None identified at this time.

Staff Impact.

The amount of staff time to research and draft this proposed text amendment and Ordinance is approximately 70 hours.

Attachments or Links.

Ordinance P, Q, R, S, T, U, V, W, X, Y, and Z Redline
Staff Report PM24-004 dated October 7, 2024.

Suggested Motions.

I move to approve Ordinances P, Q, R, S, T, U, V, W, X, Y, and Z on first reading.

ORDINANCE P

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTION 2.2.11.B.2, 2.2.12.B.2, 2.2.13.B.2, 2.2.14.B.2, 2.2.15.B.2 REGARDING MAXIMUM FAÇADE WIDTH IN THE DOWNTOWN.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.B.2, 2.2.12.B.2, 2.2.14.B.2, 2.2.15.B.2 of the Land Development Regulations of the Town of Jackson are hereby amended to read as follows:

...

Street Façade	Sec. 9.4.11.	
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	80%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	40%	
Length from street corner (min)	30'	
Maximum street façade width	200'	
Maximum combined street façade width (corner lot)	300'	

...

SECTION II.

Section 2.2.13.B.2 of the Land Development Regulations of the Town of Jackson is hereby amended to read as follows:

...

Street Facade	Sec. 9.4.11.	
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	50%	
Length from street corner (min)	n/a	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	50%	
Length from street corner (min)	n/a	
Maximum street façade width (applies to buildings with any portion of facade within 100' of ROW of Hwy 89 or South Park Loop Road.	250'	
Maximum combined street façade width (corner lot)	400'	

...

SECTION III.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION IV.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION V.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____
Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.

COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. _____ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2024.

I further certify that the foregoing Ordinance was duly recorded on page _____ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk

ORDINANCE Q

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTIONS 2.2.11.B.2, 2.2.12.B.2, 2.2.13.B.2, 2.2.14.B.2, 2.2.15.B.2 REGARDING MAXIMUM BUILDING SIZE.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.B.2, 2.2.12.B.2, 2.2.14.B.2, 2.2.15.B.2 of the Land Development Regulations of the Town of Jackson are hereby amended to read as follows:

...

Scale of Development	
Floor area ratio (FAR max) (E.4)	0.65
Additional FAR for lodging use	0.15
Deed restricted housing exemption	Sec. 7.8.3.
Workforce housing floor area bonus	Sec. 7.8.4.
Maximum individual building size (general) (E.4 & E.5)	40,000 sf
Maximum individual building size (hotel and deed-restricted housing) (E.6)	50,000 sf

...

SECTION II.

Section 2.2.13.B.2 of the Land Development Regulations of the Town of Jackson is hereby amended to read as follows:

...

Scale of Development	
Floor area ratio (FAR max) (E.4)	0.40
Deed restricted housing exemption	Sec. 7.8.3.
Workforce housing floor area bonus	Sec. 7.8.4.
Maximum individual building size (E.8 & E.9)	50,000 sf

...

SECTION III.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION IV.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION V.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2022.

PASSED 2ND READING THE _____ DAY OF _____, 2022.

PASSED AND APPROVED THE _____ DAY OF _____, 2022.

TOWN OF JACKSON

BY: _____
Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. _____ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2022.

I further certify that the foregoing Ordinance was duly recorded on page _____ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk

ORDINANCE R

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, ADDING SECTIONS 2.2.11.E.4, 2.2.12.E.4, 2.2.13.E.8, 2.2.14.E.4, 2.2.15.E.4 REGARDING THE DEFINITION OF THE TERM INDIVIDUAL BUILDING.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.E.4, 2.2.12.E.4, 2.2.13.E.8, 2.2.14.E.4, 2.2.15.E.4 of the Land Development Regulations of the Town of Jackson are hereby added to read as follows:

...

4. Definition of Individual Building: For the purposes of enforcing the maximum building size limits in this zone, an individual building is one that is physically separate from any other building and does not share any above-ground internal physical connections (e.g., hallways, elevators). Shared underground parking garages and shared underground pedestrian connections are permitted. Shared mechanical systems, whether underground or above-ground, are permitted. Individual buildings may be attached by a shared fire wall, such as in the case of zero-lot line development.

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION IV.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____
Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. _____ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2024.

I further certify that the foregoing Ordinance was duly recorded on page _____ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk

ORDINANCES

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, ADDING SECTIONS 2.2.11.E.5, 2.2.12.E.5, 2.2.13.E.8, 2.2.14.E.5, 2.2.15.E.5 REGARDING THE DEFINITION OF FLOOR AREA FOR MAXIMUM BUILDING SIZE.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.E.5, 2.2.12.E.5, 2.2.13.E.8, 2.2.14.E.5, 2.2.15.E.5 of the Land Development Regulations of the Town of Jackson are hereby added to read as follows:

...

5. Floor area defined for maximum individual building size. All above-ground habitable floor area shall count against the maximum individual building sizes in this zone. All floor area dedicated to a day care facility or that meets the LDR definition of a basement shall not count against the maximum individual building size limits in this zone.

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION IV.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____
Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. _____ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2024.

I further certify that the foregoing Ordinance was duly recorded on page _____ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk

ORDINANCE T

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, ADDING SECTIONS 2.2.11.E.6, 2.2.12.E.6, 2.2.14.E.6, 2.2.15.E.6 REGARDING THE DEFINITION OF HOTEL AND DEED-RESTRICTED HOUSING USES FOR MAXIMUM BUILDING SIZE.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.E.6, 2.2.12.E.6, 2.2.14.E.6, 2.2.15.E.6 of the Land Development Regulations of the Town of Jackson are hereby added to read as follows:

...

6. Definition of Hotel and Deed-restricted Housing Uses for Maximum Building Size. To qualify for the 50,000 sf maximum individual building size limits in this zone, the following definitions apply:

- I. **Hotel:** A hotel use includes all floor area dedicated to hotel rooms (no short-term rental units allowed), lobby, conference facilities, circulation, and related uses intended primarily for on-site guests. It may also include up to 10% of the total above-ground habitable floor area for amenity uses, such as restaurant/bar, spa, gym, and similar uses, that serve both guests and the public.
- II. **Deed-restricted housing:** All units in a deed-restricted housing use shall be permanently restricted with a deed restriction acceptable to the Jackson/Teton County Housing Department, Jackson Hole Community Housing Trust, or Habitat for Humanity. It may also include up to 20% of the total above-ground habitable floor area for ground-level nonresidential uses (e.g., retail, office, and similar uses) as allowed by the LDRs.

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION IV.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____
Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

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Riley Taylor, Town Clerk

ORDINANCE U

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, ADDING SECTIONS 2.2.11.E.7, 2.2.12.E.7, 2.2.13.E.10, 2.2.14.E.7, 2.2.15.E.7 REGARDING THE DEFINITION OF STREET FAÇADE WIDTH.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.E.7, 2.2.12.E.7, 2.2.13.E.10, 2.2.14.E.7, 2.2.15.E.7 of the Land Development Regulations of the Town of Jackson are hereby added to read as follows:

...

7. **Street Façade Width Defined.** The street façade width is the linear width of an individual building's street-facing façade. It is measured as a straight line and does not include architectural variations in the individual building façade, including larger features such as courtyards. It is measured to a building depth of 75 feet, except on a corner lot where no additional depth limit applies.

...

SECTION II.

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SECTION III.

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Hailey Morton Levinson, Mayor

ATTEST:

BY: _____

Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
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COUNTY OF TETON)

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ORDINANCE V

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, ADDING SECTION 2.2.11.E.8, 2.2.12.E.8, 2.2.13.E.11, 2.2.14.E.8, 2.2.15.E.8 REGARDING REQUIRING A CONDITIONAL USE PERMIT FOR PROJECTS REQUIRING A SKETCH PLAN IN CERTAIN ZONES.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 2.2.11.E.8, 2.2.12.E.8, 2.2.13.E.11, 2.2.14.E.8, 2.2.15.E.8 of the Land Development Regulations of the Town of Jackson are hereby added to read as follows:

...

8. **Conditional Use Permit (CUP) Required.** A CUP is required for all projects that require a Sketch Plan in this zone.
 - I. **Purpose.** The purpose of the CUP is to provide public and site-specific analysis of the on-site and off-site impacts of the proposed use on traffic, environmental resources, historic resources, water quality, and other important Town resources.
 - II. **Submittal Requirements:** Applicant shall submit studies of sufficient detail, as identified by staff at the preapplication meeting, to address anticipated impacts on traffic generation, environmental resources (e.g., wildlife permeability), historic resources, water quality (e.g., stormwater runoff, groundwater quality), and other important Town resources. Mitigation measures shall be included as part of any required study.
 - III. **Procedure.** The project shall follow all of the procedures and finding required in Section 8.4.3.
 - IV. **Conditions.** Conditions may be required to off-set identified adverse impacts of the proposed use(s) on resources protected under this CUP process, which may include on-site or off-site improvements.

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

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Hailey Morton Levinson, Mayor

ATTEST:

BY: _____
Riley Taylor, Town Clerk

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Riley Taylor, Town Clerk

ORDINANCE W

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTION 6.1.5.B.1 REGARDING THE MAXIMUM UNIT/ROOM SIZE FOR HOTEL ROOMS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 6.1.5.B.1 of the Land Development Regulations of the Town of Jackson are hereby amended to read as follows:

...

B. Conventional Lodging.

1. **Definition.** Conventional lodging is any lodging use other than those specifically defined elsewhere in this Section. **A conventional lodging unit shall not exceed 500 sf in habitable floor area but up to 10% of total habitable floor area of project may be composed of rooms that exceed 500 sf.**

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

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Riley Taylor, Town Clerk

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Riley Taylor, Town Clerk

ORDINANCE X

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTION 6.1.5.C.2 REGARDING THE MAXIMUM UNIT/ROOM SIZE FOR SHORT-TERM RENTAL UNITS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 6.1.5.C.2 of the Land Development Regulations of the Town of Jackson are hereby amended to read as follows:

...

C. **Short-term Rental Unit.**

1. **Definition.** Short-term rental means the rental of all or a portion of a residential unit such that occupancy is limited to fewer than 30 consecutive days.
2. **Standards.**

...

- g. All BUPs for short-term rental use in a residential zone expire on December 31 annually.
- h. A property found to be in violation of any requirement in Section 6.1.5.C shall not be issued a BUP for a short-term rental unit for a minimum of five years.
- i. **An individual short-term rental unit located in the Lodging Overlay shall not exceed 1,500 sf in habitable floor area. Two or more short-term rental units may not be connected in a way that results in a combined floor area that exceeds 1,500 square feet.**

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

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ATTEST:

BY: _____
Riley Taylor, Town Clerk

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Riley Taylor, Town Clerk

ORDINANCE Y

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTION 7.8.4 REGARDING EXEMPTIONS FROM WORKFORCE HOUSING BONUS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Section 7.8.4 of the Land Development Regulations of the Town of Jackson is hereby amended to read as follows:

...

C. ...

D. **Location.** All restricted and unrestricted floor area shall be located on the same, primary site.

...

SECTION II.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION III.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

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Riley Taylor, Town Clerk

ORDINANCE Z

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS AMENDING SECTION 5.8.2, DESIGN GUIDELINES, AND ADDING APPENDIX B, TOWN DESIGN GUIDELINES, TO THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Section 5.8.2 of the Town of Jackson Land Development Regulations are hereby amended to read as follows:

5.8.2. Design Guidelines.

The Town's Downtown Design Guidelines and Historic Preservation Design Guidelines are hereby established, ~~and~~ adopted, and incorporated into The Town of Jackson Land Development Regulations as Appendix B pursuant to Resolution No. 04-02, and Resolution No. 20-29 (Downtown Design Guidelines and Historic Preservation Design Guidelines) and are available in the office of the Planning Department or on the Town's website: www.townofjackson.com.

(Ord. § 1, 2024; Ord. 1273 § 1, 2021; Ord. 1151 § 4, 2016)

SECTION II.

The heading of Appendix B to the Town of Jackson Land Development Regulations is hereby added to read as follows:

APPENDIX B – Town Design Guidelines

SECTION III.

Town of Jackson Design Guidelines of Appendix B are hereby added to read as set forth on the following pages, as Exhibit A to this Ordinance, copies of which are on file in the office of the Town Clerk and on the Town of Jackson website and available for inspection:

Town Design Guidelines.

Table of Contents



1. Introduction

- Vision Statement
- Guidelines - Intent
- Scope
- Applicability

2. Design Guidelines

- Introduction
- Public Spaces
- Composition
- Massing
- Street Walls
- Materials

3. Submission Requirements

- Building Permit
- Sketch Plan
- Final Development Plan

4. Design Review Criteria

Town Design Guidelines.

Introduction



**Town of Jackson
Design Guidelines**

Vision Statement

The guiding vision for the Town of Jackson is to create a vibrant urban village to improve the quality of life and physical environment for both residents and visitors alike. The emphasis is on encouraging development that is economically, socially and ecologically sustainable. This concept includes a variety of land uses in the Town where citizens live and work. Future development should consider the unique vernacular of Jackson Hole including our authentic historic, cultural, and placemaking features, while inspiring innovative design and creativity that emphasizes a positive pedestrian experience. This will become a reality when the entire community - including government, the private sector, social service groups and special interest groups - agree to positively impact the Town through cooperation, collaboration and partnership.

Guidelines - Intent

The design guidelines were created to realize the Town's vision statement.

The intent of the guidelines is to direct the physical development of the Town through building design and land planning.

These guidelines will act as a tool to coordinate various public and private development proposals and measure how they will further advance the Town's vision.

The focus of these guidelines will be on the relationships between private and public spaces, composition, massing, street walls and building materials.

Town Design Guidelines.

Introduction



**Town of Jackson
Design Guidelines**

Scope

The purpose of the following guidelines is not to attempt to solve the continuous debate over architectural style, but instead is an attempt to qualify fundamental design principles essential to creating a vibrant Town. The consensus of the public workshops and sentiment of the design group preparing these guidelines is that individual architectural style and approach should not be prescribed, but rather encouraged within the fundamental principles described in the following design guidelines.

The proposed design guidelines are presented as an aid to property owners, business leaders and designers who wish to make improvements to property in the Town. The design guidelines found here offer fundamental guidance that will help enhance the quality and strengthen the visual continuity in the Town. Their purpose is to stimulate creative design solutions for individual properties while promoting a sense of cohesiveness among the entire Town.

Town Design Guidelines.

Introduction

Applicability

All development applications utilizing Division 4500. Nonresidential Standards of the Town's Land Development Regulations shall be required to comply with the following guidelines.

A Design Review Committee has been established to evaluate development applications and to advise and provide technical assistance to the Planning Director, Planning and Zoning Commission/Board of Adjustment and Town Council regarding compliance with these design guidelines. Procedures and requirements for establishment and conduct of the Committee have been set forth in Section 5070. Design Review Committee of the Town's Land Development Regulations.



**Town of Jackson
Design Guidelines**

Town Design Guidelines.

A. Public Space



Town of Jackson
Design Guidelines

Introduction

Public Space is a critical component in the future growth and development of the Town of Jackson. As the Town becomes a more densely built environment, there is a greater need for a symbiotic relationship between buildings and open space.

Public space should be usable and diverse in size and function, ranging from covered boardwalks to pocket parks. Development of these spaces should strive to enhance the experience of existing natural resources and complete a network of clear circulation links throughout town.

Effective public space will create a more diverse and enjoyable pedestrian experience throughout the Town, ultimately benefiting both residents and visitors.

Guidelines

1. Use

Public space shall be usable. Public space should be considered as a vital component of every development. It is important to treat the un-built portion of a site as designed, functioning space. Consider all appropriate uses for public space as it relates to:

A. Human scale - develop public space that is desirable and comfortable to inhabit. Use trees, canopies or other building elements to break the perceived height of adjacent façades to create a more human scale.

B. Relationships - public space should engage the interior of a building and relate to the adjacent building's function and use.

C. Detail - details of lighting, signage, benches, paving, planting, canopies, etc. should relate to the overall function of the space.

Town Design Guidelines.

A. Public Space



**Town of Jackson
Design Guidelines**

Guidelines

2. Location

Locating public space appropriately on site ensures that the space is comfortable and therefore functional. When locating public space consider:

A. Seasonal adaptability - public space should be protected from full exposure to the sun, snow, wind and rain where possible. Orient public spaces to take advantage of daylight.

B. Transition - create habitable spaces that provide a transition between buildings and the adjacent streets and alleys.

C. Entry - Points of entry into a building should be clear and engaging to the pedestrian.

Guidelines

3. Connections

Throughout the Town, public space shall act as a connector for the pedestrian experience whenever possible.

A. Consider how the proposed development connects with both the street and other development on the same block.

B. Consider how the proposed development makes connections with the overall Town open space, pathways systems, significant topographical features, and Cache and Flat Creeks.

Town Design Guidelines.

A. Public Space

Guidelines

Criteria



4. Scale & Variety

The proposed development should provide public space that is suitable to the scale and function of the development. The open space portion of the proposed development should be considered in the context of increasing the variety of sizes, types and locations of open space throughout the Town.

5. Screening

Screening - Whenever possible, use landscaping or architectural elements to buffer the pedestrian from automobiles, utilities, and parking lots.

Edges - Use trees, architectural walls, benches, etc. to create edges for public space. Clearly define the space without making it isolated or confined.

·The project has demonstrated that the proposed public space is usable and desirable to inhabit.

·The project's developed public space will be engaging and in scale with the pedestrian.

·The design of the proposed public space(s) has integrated the following:

- Orientation/day-lighting.
- Screening the users from parking, utilities, and garbage facilities.

Town Design Guidelines.

B. Composition

Introduction

This guideline addresses the elemental design tools of composition, proportion, and rhythm. These are important tools for achieving a balance between unity and complexity in design.

Composition is defined as the organization of parts of a project to achieve a unified whole.

Proportion is the relation of one part to another or to the whole.

Rhythm is a vocabulary of regular and repetitive elements or the relative variation of such elements.

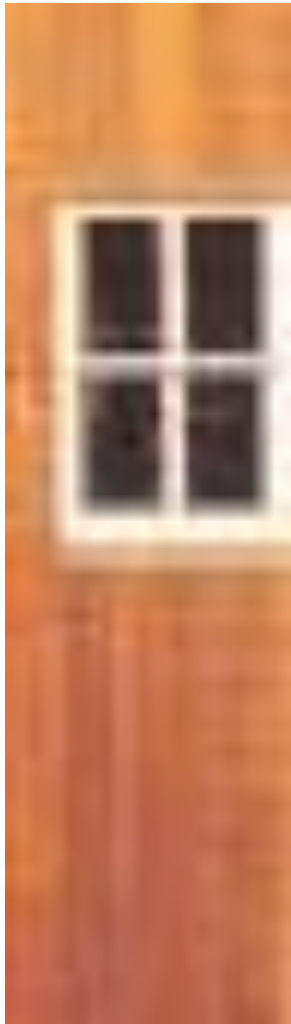
These tools may be used to overcome the limitations of architectural style to achieve buildings that are timeless visual assets to the downtown. Each tool can be applied to the materials, surfaces and massing of a building to provoke visual interest, indicate the building's use and create an appropriate human scale. Using these tools, the balance achieved in the design should connect the proposed development to its context.

Guidelines

- 1. Consider composition, proportion and rhythm of the materials, surfaces and massing of all building elevations to promote visual interest at the scale of both the automobile and the pedestrian.***
- 2. Use composition, proportion and rhythm of the materials, surfaces and massing to create a sense of entry and a sense of place.***
- 3. To the degree possible, utilize composition, proportion and rhythm to address adjacent buildings. When multiple adjacent buildings are proposed in a project, the composition, proportion, and rhythm of all buildings shall be diversified and not overly repetitive, but done so in a complementary manner.***

Criteria

The project has successfully applied the design elements of composition, proportion and rhythm in the proposed materials, surfaces and massing.



**Town of Jackson
Design Guidelines**

Town Design Guidelines.

C. Massing

Introduction

A building's mass is defined by its component parts, including the size of its footprint and number of stories. Building mass is also determined by building form, roof shape, and orientation.

A building's form can be a simple rectangular box or a more complex combination of volumes.

Massing refers to the size of buildings and how they meet the street. Consequently, massing affects the experience of pedestrians. The way in which a particular building 'meets the street' can produce an exciting and vital experience for the person on the street: it is not overbearing, rather it is engaging and stimulating. To ensure this experience, building massing should address the relationship between the size of the proposed building and the scale of the pedestrian.

Appropriate massing will also create a gentle transition between adjacent zoning areas with no abrupt changes in height or mass of adjacent structures.

The Town of Jackson has a 'sawtooth' profile of building heights that is a product of the historic building pattern, especially along the Town Square. The gaps that exist in the historic sawtooth profile provide opportunities to insert new buildings which are compatible in both scale and material, yet are distinguishable from the historic vernacular. Reaching a balance between old and new is the goal of the Design Guidelines, requiring the retention of the sawtooth profile while encouraging compatible new buildings which respect Jackson's urban fabric.

Town Design Guidelines.

C. Massing

Guidelines

1. Mass & Height:

The architectural form of development should have a human-scale, pedestrian orientation; the height of buildings should not overwhelm people walking in the vicinity of the buildings, therefore;

A. Canopies should be utilized over sidewalks or property lines to give buildings a human scale. (This should work in concert with guideline 2, ***Additive & Subtractive Massing.***)

Town Design Guidelines.

C. Massing

Guidelines

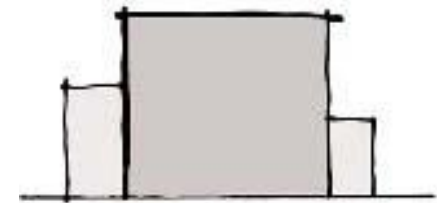
Guidelines

2. Additive and Subtractive Massing:

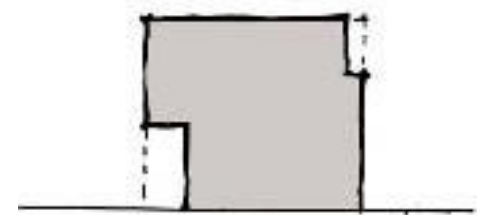
Both additive and subtractive massing approaches are encouraged to reduce the visual impact of large building masses. The additive massing approach increases the size of the building by linking smaller, compatible elements in a way that allows them to remain visible as separate pieces after they are put together. A simple building with additions is an example. The subtractive massing approach is to take a building as a large mass, and then reduce it by taking parts of it away, in a logical manner. This approach is especially useful when buildings are built on the property line. Larger buildings will likely be required to make larger-scale additions and subtractions than smaller buildings in order to achieve the intent of these guidelines.

A. Utilize both additive and subtractive massing, including sky plane techniques to reduce the visual impact of building masses. Balconies that partially step into the building and partially cantilever out away from the building face achieve this.

B. Architectural features on the second story and above may protrude into the public right-of-way a maximum of five (5) feet.



additive



subtractive

Town Design Guidelines.

C. Massing

Guidelines

3. Volume complexity

Large building masses should be achieved by linking a series of smaller masses. The result should be a building which can be seen as a group of related structures, rather than one large element. In the case of a project which covers multiple adjacent lots or proposes multiple buildings on the same development site, density can be achieved in a positive way if the buildings themselves are designed with significant variation in volume complexity to avoid a large, monolithic and monotonous structure or monolithic design across multiple structures.

A. Avoid large monolithic and monotonous buildings. Translate the building program into multiple, separate buildings (attached or detached) or a building complex, whose exterior reflects the interior uses and functions. For large buildings, a single building can be treated as a building complex with multiple different but related façade treatments if its important parts (e.g. entries, windows, roof lines, etc.) and uses are authentically reflected in the external design variations.

B. Projects that contain multiple lots or a large development site shall pay close attention to breaking up the vertical facade into a pattern typical of single or double lot development, unless the applicant can demonstrate that a unified façade design fits better with the context of the block or neighborhood and achieves superior design.

Guidelines

4. Roofs

Jackson will be comprised of linked building elements of one, two, and three stories. The roof types will either be parapet, flat, sloping or barrel vault roofs. Flat and parapet roofs are particularly appropriate at the edges of the site because they avoid some of the serious engineering and safety problems associated with snow sliding onto the public right-of-way.

A. A project should ensure that roofs are designed so that no snow or rain is deposited onto adjacent public or private walking surfaces.

Criteria

The mass, height, volume complexity and arrangement of building components of the proposed development enhances the streetscape within the context of the Town, while creating a comfortable experience for the pedestrian and mitigating adverse effects on the adjoining properties.

Town Design Guidelines.

D. Street Wall

Introduction

Street walls result when buildings are constructed to or near the front and side property lines of a site. This pattern of development - typical of the properties surrounding the Town Square - creates a strong edge that defines the sidewalk and street. Avoiding breaks (e.g. parking lots and low-intensity development) will further enhance the character and strengthen the identity of the Town.

The goal of street walls in the downtown area is to continue the connected network of comfortable and inviting pedestrian paths that form the transition between the street and adjacent buildings.

Guidelines

- 1. The project should generally be built to the property lines at the sides and along the street frontage.*
- 2. There should be no voids in the street wall except for the circumstances described in these guidelines, below.*
- 3. It is appropriate to open up the street wall for a portion of the frontage to create areas of semi-public open space, landscape and pedestrian amenities, identify entrances and make pedestrian connections.*
- 4. At the corner, it is appropriate to step back the street wall to create comfortable pedestrian areas.*
- 5. Vehicle entrances to underground or rear parking areas may be acceptable but should be minimized to avoid conflicts with pedestrians.*

Town Design Guidelines.

D. Street Wall

Criteria

The project clearly defines the public space adjacent to the sidewalk and/or street.

The scale of the street wall appropriately addresses the pedestrian.

The proposed development minimizes voids in the street wall, and where voids exist, they serve to create a better pedestrian realm.



Town Design Guidelines.

E. Materials

Introduction

The Jackson building tradition may be said to be one of opportunity. Historically, material choices have been made based on the availability of materials. This has created a rich tradition of using building materials that reflect the region in which we live. New construction should seek a fit within this regional context.

Exterior materials function as the outer layer of the building envelope and may also serve a structural function. Issues such as weather protection, durability, and maintenance affect the functional aspect of visible exterior materials. These, in turn, affect the long-term performance of the building and its impact on the environment.

The objective of the Design Guidelines for materials is to allow flexibility in the choice and applications of exterior materials. Project approval will be based on how the proposal integrates with the surrounding local context. Innovation, creative design and new technologies can improve and enhance the immediate surroundings, while expanding the varied and authentic palette of building materials used in the Town of Jackson.

A creative and rigorous approach to the selection and application of building materials will generate a more vibrant appearance to the Town and an inviting environment for pedestrians. This benefits Jackson's building tradition and will strengthen the strong sense of place found in our downtown core and throughout the Town.

To achieve this, the guidelines intend to address the following:

Material selection should take into account the historical vernacular of the Town and surrounding area as well as the unique natural context of the valley.

Material application should take into account multiple views of the building.

Transparency, visual interest, and scale should be considered at the pedestrian/street level.

Durability and maintenance should be a consideration in material selection.



**Town of Jackson
Design Guidelines**

Town Design Guidelines.

E. Materials

Guidelines



Town of Jackson
Design Guidelines

1. Application of Materials

These guidelines strongly encourage applicants to consider the inherent nature of materials and their appropriate application.

A. Application of materials is at least as important as the materials themselves. Lack of attention to how materials are used can lead to concerns, including, but not limited to, how a material or a surface begins and ends (termination), how a switch from one material to another occurs (transition), and viewing the building as a whole or from many angles (continuity).

Paying attention to which materials and their structural application are selected for vertical supporting elements (compressive), spanning over openings (tensile), or creating building planes such as walls (infilling) will lead to appropriate materials used in believable situations. Projects with material application that do not closely adhere to the above guidelines may not be approved without revisions.

Guidelines

2. Materials Selection

Applicants must consider the regional, local, and immediate context (including existing buildings) the natural environment, and the local culture when selecting exterior materials and components.

These guidelines strongly encourage designers to consider how the materials selected for a building will relate to the immediate surroundings.

To support the continued development of unique architecture, these guidelines do not specifically restrict the use of any materials but they may restrict where certain materials may be used. For example, street-facing facades that are highly visible and accessible to the public shall not use materials that are of poor quality or an inauthentic facsimile of another material. Review of proposed materials will consider the positive and negative impacts on the surrounding buildings, natural environment and culture. Proposed materials will be evaluated on this basis.

Town Design Guidelines.

E. Materials

Criteria



The proposed materials are appropriate based on the surrounding context, both built and natural. The proposed materials will be durable and maintainable over time.

The material application of the proposed project has successfully addressed the following:

- Multiple views of the structure.
- How structural materials are represented.
- How major building walls and planes are treated.

Town Design Guidelines.

Submission Requirements

Submission Requirements

Applications shall contain the information described below for the review of the project to determine compliance with the Town's Design Guidelines, unless a waiver of said requirements (or portions thereof) is granted by the Planning Director for good cause shown. The Planning Director shall ensure that only pertinent information is required from the applicant, commensurate with the magnitude of the project.

Building Permit - Design Review

All applications shall include the following information to be reviewed by the Design Review Committee prior to submission of a building permit:

- 1. Drawings of all building elevations accurately showing the colors of the proposed structure, including adjacent context, and initial material types. Minimum 1/4 scale.*
- 2. Material samples or reasonable, clear photographs or representations of all final material selections.*

3. A concept statement that clearly describes the intended use(s) and architectural theme of the overall project and a detailed description of how each design guideline has been addressed by the proposed project.

4. A figure/ground diagram at an appropriate scale that illustrates all structures within a 1block radius of the proposed project.

5. A transverse street cross-section that extends a half block in each direction of the project. The submission must include the entire block the project is situated on. For sections, line drawings or mass void sections are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

6. A longitudinal street elevation that extends half a block in each direction of the project. The submission must include the entire block the project is situated on. For elevations, line drawings are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

7. A site plan clearly indicating the location, detail (lighting, benches, signage), and size of public space(s).

Town Design Guidelines.

Submission Requirements

8. A character sketch in elevation, axonometric, or perspective drawing, conveying the intended character of the major public space from a pedestrian perspective.

Sketch Plan - Design Review

All applications shall include the following for review by the Design Review committee as part of all Sketch Plan applications:

1. Drawings of all building elevations, including adjacent context, and initial material types. Minimum 1/4 scale.

2. A concept statement that clearly describes the intended use(s) and architectural theme of the overall project and a detailed description of how each design guideline has been addressed by the proposed project.

3. A figure/ground diagram at an appropriate scale that illustrates all structures within a 1-block radius of the proposed project.

4. A transverse street cross-section that extends a half block in each direction of the project. The submission must include the entire block the project is situated on. For sections, line drawings or mass void sections are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

5. A longitudinal street elevation that extends half a block in each direction of the project. The submission must include the entire block the project is situated on. For elevations, line drawings are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

6. A site plan clearly indicating the location, detail (lighting, benches, signage), and size of public space(s).

7. A character sketch in elevation, axonometric, or perspective drawing, conveying the intended character of the major public space from a pedestrian perspective.

Town Design Guidelines.

Submission Requirements

Final Development Plan - Design Review

All applications shall include the following for review by the Design Review committee as part of all Final Development Plan applications:

1. Drawings of all building elevations, including adjacent context, and initial material types.

Minimum 1/4 scale.

2. A concept statement that clearly describes the intended use(s) and architectural theme of the overall project and a detailed description of how each design guideline has been addressed by the proposed project.

3. A figure/ground diagram at an appropriate scale that illustrates all structures within a 1 block radius of the proposed project.

4. A transverse street cross-section that extends a half block in each direction of the project. The submission must include the entire block the project is situated on. For sections, line drawings or mass void sections are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

5. A longitudinal street elevation that extends half a block in each direction of the project. The submission must include the entire block the project is situated on. For elevations, line drawings are appropriate; please include scale figures and vehicles on all drawings. Minimum 1/8 scale.

6. A site plan clearly indicating the location, detail (lighting, benches, signage), and size of public space(s)
7. A character sketch in elevation, axonometric, or perspective drawing, conveying the intended character of the major public space from a pedestrian perspective.

8. A three-dimensional massing study using either a massing model (a scale of 1" = 20' is appropriate) or drawings showing three-dimensional perspectives and/or sections and elevations. The study shall show the proposed development in the context of neighboring buildings and/or potential development allowed by the underlying zoning district. At a minimum, the study should show the immediately adjacent buildings preferably the entire block.

Town Design Guidelines.

Design Review Criteria

Design Review Criteria

Recommendations for Design Review or Final Development Plan shall be dependent upon criteria that the proposed project complies with the Town's Design Guidelines established as part of these Land Development Regulations. The Staff, Design Review Committee, Planning and Zoning Commission and Town Council may also attach any conditions deemed appropriate, to ensure compliance with the following criteria:

Public Space

The project has demonstrated that the proposed public space is usable and desirable to inhabit.

The project's developed public space will be engaging and in scale with the pedestrian.

The design of the proposed public space(s) has integrated the following:

- Orientation/day-lighting.
- Screening the users from parking, utilities, and garbage facilities.

Composition

The project has successfully applied the design elements of composition, proportion and rhythm in the proposed materials, surfaces and massing.

Massing

The mass, height, volume complexity and arrangement of building components of the proposed development enhances the streetscape within the context of the Town, while creating a comfortable experience for the pedestrian and mitigating adverse effects on the adjoining properties.

Street Walls

The project clearly defines the public space adjacent to the sidewalk and/or street.

The scale of the street wall appropriately addresses the pedestrian.

The proposed development minimizes voids in the street wall, and where voids exist they serve to create a better pedestrian realm.

Town Design Guidelines.

Design Review Criteria

Materials

The proposed materials are appropriate based on the surrounding context, both built and natural. The proposed materials will be durable and maintainable over time.

The material application of the proposed project has successfully addressed the following:

- Multiple views of the structure.
- How structural materials are represented
- How major building walls and planes are treated.

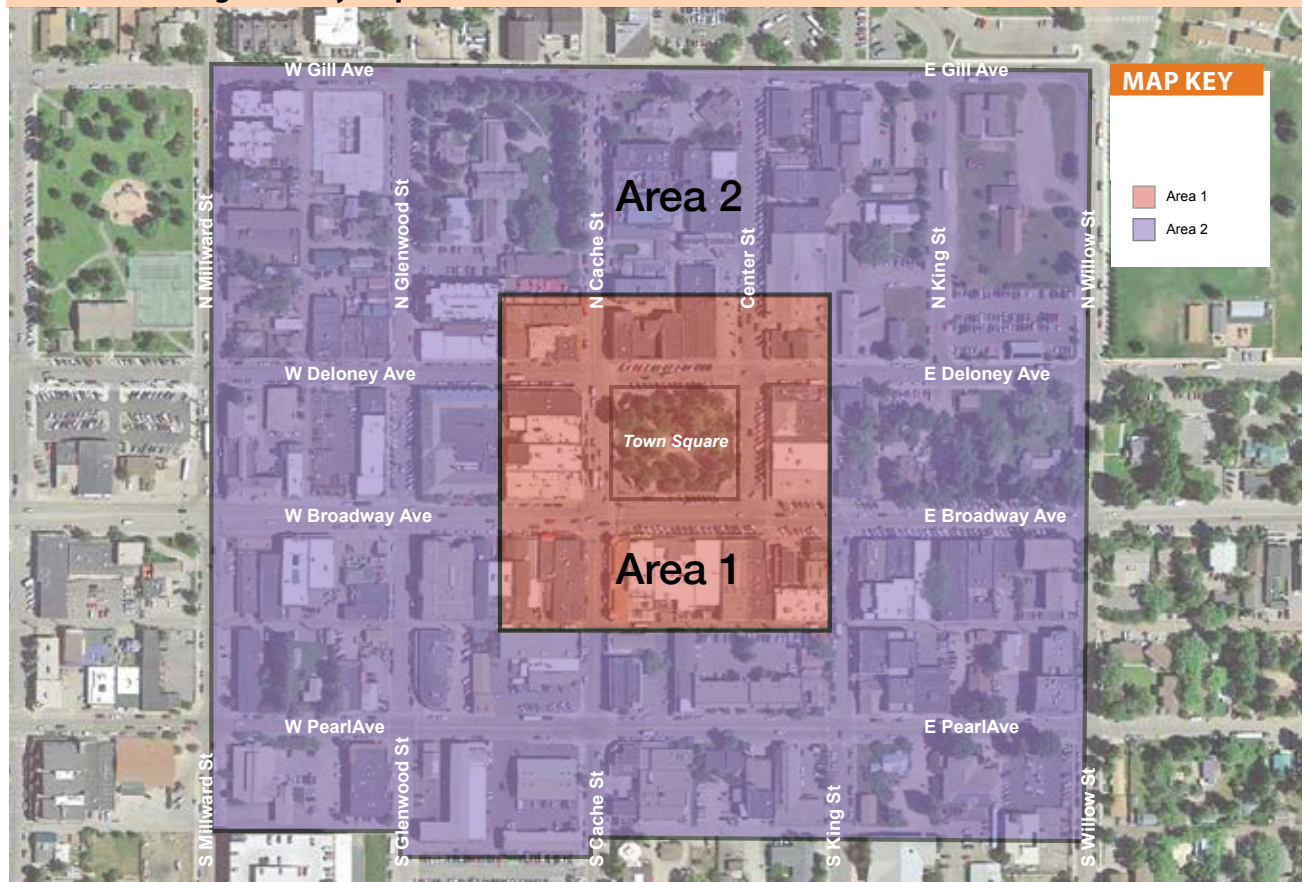
SECTION IV.

Jackson Downtown Design Overlay of Appendix B to the Town of Jackson Land Development Regulations are hereby added to read as set forth on the following pages:

INTRODUCTION DESIGN OVERLAY

- This Design Overlay provides design guidelines for new buildings and additions in the Downtown Design Overlay Area 1 and Area 2

Downtown Design Overlay Map



DOWNTOWN DESIGN OVERLAY AREA 1 & AREA 2 DESIGN GUIDELINES

BACKGROUND POLICY RELATED TO AREA 1 AND AREA 2

For Area 1 and Area 2 the appendix focuses on interpreting what Western Character means, since maintaining a sense of Western Character is a policy in the community's Comprehensive Plan. Excerpts from the Jackson/Teton County Comprehensive Plan (06 April 2012) that identify "Western Character" are noted below:

Principle 4.1 - Maintain Town as the central Complete Neighborhood

Policy 4.1.a: Promote a complete Town of Jackson

...All subareas will each have some of the components of a Complete Neighborhood appropriate for that subarea and will collectively contribute to enhancing Town as the community's central Complete Neighborhood. However, not all components of a Complete Neighborhood will be provided in all subareas of Town, as each distinct subarea will have its own defined character and role...

Policy 4.1.c: Promote compatible infill and redevelopment that fits Jackson's neighborhoods

...The Town Character Districts provide specific guidance for infill and redevelopment projects, consistent with the desired character for each Subarea of Town...

Policy 4.2.e: Protect the image and function of Town Square

Town Square is Jackson's major tourism draw and can be described as the "heart of the heart". As such, it is the area that evokes the greatest amount of sentiment and concern regarding architecture, scale and character. This area will be subject to the highest level of design standards, particularly for block faces on the Town Square.

District 1: Town Square (TS1)

Existing and Future Desired Characteristics include:

"The Town Square District is the historic center of Jackson Hole and the central gathering space for residents and visitors alike. The district is home to iconic buildings and public spaces, including the Cowboy Bar, George Washington Memorial Park (the "Town Square"), and the sawtooth building profiles surrounding the Town Square. Preserving the existing western character and heritage found in the buildings and public spaces in this district will be key to maintaining the existing character. The district is the center of the visitor experience in Town and plays an

important role in defining our community's western heritage and overall community identity."

1.1: Inner Square (character defining features)

"This STABLE Subarea will focus on maintaining western character by retaining or replicating the existing built environment. Building heights directly fronting the Town Square should not exceed two stories. Buildings should be located near the street to create an attractive street front. A desired western architectural style and approach will be defined. The continuation of covered wooden boardwalks is vital to maintaining the desired western character."

1.2: Outer Square (character defining features)

This STABLE Subarea will focus on maintaining western character consistent with the existing character of the district. Building heights will be allowed up to three stories, in order to provide lodging, residential and other non-residential uses. Buildings should be located near the street to create an attractive street front. A desired western architectural style and approach will be defined. The continuation of covered wooden boardwalks is vital to maintaining the desired western character.



Traditional design precedents in these images include:

- flat roof with decorative cornice
- wood framing with stamped metal panels
- more ground level transparency with divided window panes

Top image

- upper level double-hung window pattern with divided window panes with lintels
- storefront (although difficult to see the first floor is highly transparent)

Bottom image

- flat roof with -simple cornice
- wood lap siding
- simple wood trim
- upper level double-hung window pattern with divided window panes with lintels
- decorative use of antlers appears across the street on simple timber fence

DEFINING WESTERN CHARACTER

This set of design guidelines further defines the term Western Character to add clarity to how it is interpreted for the design of new infill buildings, additions and other types of improvements within Area 1 and Area 2. The language below was derived from a public outreach process tasked with what Western Character meant to the community in regards to the built environment.

Western Character is a broad set of characteristics that are a part of the design traditions of the community and that appear in a variety of earlier building types and styles. It includes building forms, materials and details that may be combined in a variety of ways. As such, Western Character embodies an approach to design, not a specific style.

These guidelines address the key design variables embodied in Western Character. The intent is to convey a sense of authenticity and not require using historical styles. The purpose is to avoid confusing the genuine history of the community with imitations of historic styles.

Historic Precedents of Western Character

Historic photographs document precedents for Western Character in downtown Jackson. They show a range of buildings that vary in form, materials and detail, yet all were part of the town's heritage and contributed to its character. Each early building had a sense of relatedness with others. It exhibited a sense of authenticity, with practical responses to functional needs, the availability of craftsmen and materials, and climatic influences. This resulted in these features:

- Building forms were simple and functional. Some had false fronts with stepped parapets that followed the gable roof line hidden behind. Others had exposed gabled or similar sloping roofs that were key parts of their basic building forms. Details and ornamentation were used sparingly.
- Designs responded to environmental conditions: Awnings and canopies sheltered walkways and sloping roofs directed snow away from entrances.
- Buildings conveyed a sense of community: They were oriented to the street and scaled for walking.
- Natural materials were used: These were muted, with matte finishes, often even rustic. Many were locally sourced.
- Buildings connected to the street: Storefronts and porches signaled links to the public realm.
- Buildings had a sense of human scale: Building forms and design features were of sizes that relate to human scale. The repetition of storefronts, canopies and other openings along the street is an example.



Many commercial buildings have traditional storefronts at the street level with large areas of display windows that are a part of Western Character. A traditional storefront has these features:

- A large area of glass as display windows, often composed of a set of smaller panes in frames
- A short stem wall (a bulkhead or kickplate) at the base, which supports the display windows
- An entrance which is clearly defined, often with double doors that are recessed.

Other buildings have a more residential character at the ground level, with smaller windows and a greater proportion of solid wall. They often have:

- A gabled porch as an entry
- Overhanging eaves, often with exposed rafters.



Historic photographs document precedents for Western Character in the heart of Jackson. They show a range of buildings that vary in form, materials and detail, yet all were part of the town's heritage and contributed its character.

Traditional design precedents in these images include:

Top left image

- lodging building with sloped roofs, and roof dormers
- clearly defined entries
- stone and brick base with, upper-story material change (stucco with exposed timber)
- upper and lower level double-hung window pattern with shadow lines at windows
- articulation techniques (wall offsets)

Top right image

- cross-gable roof with dormers
- chinked log construction
- overhanging eaves
- exposed rafters
- more ground level transparency with wood trimmed double-hung windows, divided window panes, and shadow lines at windows
- porch entry feature
- vertical timber bell tower with hip roof
- articulation techniques (wall offsets)

Left image

- commercial building with sloped roofs
- wood lap siding with simple trim
- wood trimmed double-hung windows, divided window panes, with shadow lines
- ground level storefront with divided windows
- clearly defined entries
- articulation techniques (covered boardwalk)
- shadow lines at windows



Top left image

- commercial building with parapet and sloped roofs (false front)
- wood trimmed double-hung windows, with arched trim, and shadow lines
- clearly defined entry
- shadow lines at windows

Top right image

- row of commercial building with stepped parapets and sloped roofs (false front)
- storefront (although somewhat difficult to see, but many of the first floors are highly transparent) with some clearly defined recessed entries
- horizontal alignment of kickplates and transoms
- shadow lines at windows



APPLYING THE DESIGN GUIDELINES TO AREA 1 AND AREA 2

Area 1

Around the Town Square, the interpretation of Western Character should be more rigorous than in Area 2. In Area 1, buildings should maintain a predominately two-story experience on the site, and a more limited palette is appropriate for primary materials. Some height exception may be appropriate as a historic incentive for some historic buildings (see [Historic Preservation Ordinance](#)). Covered walkways sheltering boardwalks should be a key part of the pedestrian experience, and maintaining views to key landmarks and the mountains are particularly important.

Area 2

Buildings in Area 2 should still convey a sense of Western Character, but may do so a bit more broadly. Taller buildings are appropriate when they are designed to maintain a predominantly two-story experience at the street edge. More variety in primary building materials is also appropriate here, but still should be within the range of those seen traditionally. Addressing the street edge and providing shelter at building entrances is important, but covered walkways are not required.

EXAMPLE DESIGN GUIDELINES FORMAT

The design guidelines in this document use a standard format. This format includes a series of six items, which are noted and described in the diagram below.

A Design Topic Heading

This is shown in bold, is numbered, and is always at the top of the page.

B Intent Statement

The intent statement follows the design topic heading. It explains the goal of the design guidelines that follow. If an application does not specifically meet one of the design guidelines, it can be reviewed using the intent statement. Most of the intent statement for a topic applies to both areas, but in some cases some specific language may apply to Area 1, or Area 2. If this occurs, it will be noted within the intent statement for easy reference.

C Design Guidelines

Design guidelines describe an intent or desired outcome. They are numbered for easy reference. Most design guidelines apply to both areas, but in

some cases may apply only to Area 1, or Area 2. If this occurs, it will be identified by a subhead above the design guideline for easy reference. In some cases, a design guideline may be repeated to make it clear to the user when additional information under the guideline applies to a specific area.

D Additional Information

This information is found in a bullet list that follows a design guideline, where applicable. This provides appropriate and inappropriate strategies for meeting the intent of the design guideline.

E Further Detail

Further sub-bullets are provided for some design guidelines and provide even more detail.

F Images and Illustrations

Visuals are included to clarify the intent of the guideline. Captions provide more detail about how the image is to be interpreted.



A storefront allows views to activities inside the building on a street-facing façade. Providing a shadow line around the display windows is an important detail.

Appropriate and Inappropriate Solutions

In many cases, images and diagrams in the design guidelines are marked to indicate whether they represent appropriate or inappropriate solutions.

 A check indicates appropriate solutions.

 An "X" mark indicates solutions that are inappropriate,

A STREET AND GROUND LEVEL INTEREST & SHELTER

B Design Intent:

Area 1 and Area 2 are the town's central visitor experience. Therefore, the building design at the street and ground level where there is pedestrian traffic should provide visual interest, and some protection from seasonal change (sun in the summer and snow/ice in the winter.)

C Area 1 & Area 2 Design Guidelines:

1.78 Provide visual interest to pedestrians by incorporating alternative wall treatments at the ground level where there may not be as many windows or storefronts.

D a. Alternative wall treatments include:

- » Window display cases
- » Wall art
- » Architectural detailing
- » Landscape planters (Area 2 only)
- » Outdoor dining space
- » Canopies (Area 2 only)



Although unoccupied when this image was taken, a plaza, outdoor seating area or patio that connects a building to a public space, parking area or open space is appropriate.



Pedestrian connectivity is provided by a midblock pass through. The walkway is activated with display windows, lighting and architectural features.



Pedestrian access is appropriately directed through an outdoor dining area in this mixed use development.

PEDESTRIAN ACCESS AND CONNECTIVITY

Design Intent:

Area 1 and Area 2 provide the most important experiences for the pedestrian. Therefore, safe, year-round, pedestrian access and connectivity should be provided. It should consider all types/levels of pedestrians, including elderly and ADA accessibility. Pedestrian connectivity refers to the movement of people from the public realm to and through a site. It also encompasses pedestrian connections to adjacent sites. Pedestrian access and connectivity within a site should enhance walkability and provide clear connections to the public realm.

Area 1 and Area 2: Design Guideline:

1.1 Provide a physical pedestrian connection between a site and the public realm. Appropriate options include:

- A door that opens directly to a public space.
- A walkway that connects a building to a public space through a setback area.
- A plaza, outdoor seating area or patio that connects a building to a public space.
- When a property is adjacent to a public open space, connect the site to the open space.

1.2 Establish an internal walkway system that connects building entries, parking areas and open spaces.

- Consider special paving, distinct lighting, and landscape elements to accentuate a site's circulation system.
- Consider directing an internal walkway through a plaza, courtyard or other outdoor feature.
- Size an internal walkway of an adequate width to allow safe pedestrian access.
- Integrate a site's internal walkway system with the public pedestrian circulation system.

1.3 Where feasible, and when there is a clear public benefit, consider providing public pedestrian access through a block. Methods include:

- A path connecting two streets through a block.
- A pedestrian walkway integrated with an open space or a retail amenity.
- An alley that is shared by pedestrians and automobiles.
- A path to break up an unusually large block.



STREET AND GROUND LEVEL INTEREST & SHELTER

Design Intent:

Area 1 and Area 2 are the town's central visitor experience. Therefore, the building design at the street and ground level where there is pedestrian traffic should provide visual interest, and some protection from seasonal change (sun in the summer and snow/ice in the winter.)

Area 1 & Area 2 Design Guidelines:

1.4 Provide visual interest to pedestrians by incorporating alternative wall treatments at the ground level where there may not be as many windows or storefronts.

- a. Alternative wall treatments include:
 - » Window display cases
 - » Wall art
 - » Architectural detailing
 - » Landscape planters (Area 2 only)
 - » Outdoor dining space
 - » Canopies (Area 2 only)

Area 1 Design Guidelines:

1.5 Develop the street level to provide visual interest to pedestrians and shelter.

- a. Clearly define a pedestrian entrance.
 - » Recessed entries are often incorporated.
- b. Provide a storefront or display window(s) that allow views to activities into the building.
 - » These windows are often composed of a set of smaller panes in frames.
 - » A short stem wall (a bulkhead or kickplate) at the base of the storefront, provides support to the windows.
- c. A large expanse of blank wall is inappropriate.

A storefront allows views to activities inside the building on a street-facing façade. Providing a shadow line around the display windows is an important detail.



Smaller display window(s) that allow views to activities into the building on a secondary street-facing façade is appropriate in Area 2 for some building types, such as office, or residential.



The intent of a display window is to allow views into the building; however, there may be some cases where another treatment is appropriate to accommodate an interior use and still provide interest at the street level with some transparency. This would be an appropriate approach on a secondary street in Area 2.



Area 2 Architectural detail



Area 2 Canopy



Area 1 & 2 Outdoor dining space



Area 1 & 2 Covered walkway



Area 2 Wall art



Area 1 & 2 Wall art



Area 2 Landscape planters

The images above show a variety of appropriate treatments to add street level interest for the pedestrian.

Area 2 Design Guidelines:

1.6 Develop the street level to provide visual interest to pedestrians and shelter.

a. For a shopfront building façade, provide:

- » A covered boardwalk or canopy for a portion of the façade.
- » A storefront or display window(s) that allow views to activities into the building.
- » A clearly defined primary entrance(s).

b. For street-facing residential or lodge buildings provide:

- » A covered boardwalk, canopy, porches, or similar type shelter for a portion of the façade.
- » A clearly defined primary entrance(s).
- » Windows

ARCHITECTURAL CHARACTER

Design Intent:

New construction should appear as a product of its own time while relating to traditional Western Character. In order to assure that historic resources are appreciated as authentic, it is important that new buildings and additions be distinguishable from them, while also being compatible.

Area 1 & Area 2 Design Guidelines:

- 1.7 Design a new building to reflect its time, while conveying a sense of Western Character.
- 1.8 Contemporary interpretations of traditional designs and details are encouraged.
 - a. A new design for window moldings and door surrounds, for example can provide visual interest while conveying the fact that a building is new.
 - b. Contemporary details for new storefronts also can be used to create interest while expressing a new, contemporary Western Character.
- 1.9 The exact imitation of older historic styles is discouraged.
 - a. This blurs the distinction between old and new buildings and makes it more difficult to visually interpret the history of downtown.

Area 1 Design Guideline:

- 1.10 The exact imitation of older historic styles is discouraged.
 - a. In Area 1, where the sense of Western Character should be especially strong, an interpretation of a historic style that is authentic to the area may be considered if it is subtly distinguishable as being new.



New buildings should be distinguishable from traditional buildings, while also being compatible. This new building is located near a residential setting and incorporates some traditional residential design characteristics of the area, including sloped roofs, wood lap siding, and similar window and door proportions; however, it is still distinguishable as new. This would be an appropriate design especially along some of the outside edges of Area 2 near residential settings.



In Area 2, contemporary interpretations of traditional designs and details are encouraged, such as this canopy and storefront system.



In Area 1, where the sense of Western Character should be especially strong, an interpretation of a historic style that is authentic to the area may be considered if it is subtly distinguishable as being new.



In Area 1 and Area 2, contemporary interpretations of traditional designs and details are encouraged, such as this cornice design.



In Area 2, while building height maximums are set by the LDRs, a building should be perceived as being predominantly two stories, especially at the street edge. Some portions of a building may be taller.



In Area 2, floor-to-floor heights should appear similar to those of traditional buildings within the overlay area.

BUILDING HEIGHT/STORIES

Design Intent:

Buildings should convey heights that appear similar in scale to those seen traditionally. In Area 1: one & two-story are appropriate; in Area 2: a building should be perceived as being predominantly two stories, especially at the street edge. Some limited portions of a building in these areas may also be taller as allowed by the LDR.

Area 1: Design Guideline:

1.11 Reflect the height of traditional buildings as perceived at the street edge.

- a. Maintain a one and two-story façade height at the street level. See design standards for exceptions.
- b. Floor-to-floor heights should appear similar to those of traditional buildings along the block.

Area 2: Design Guideline:

1.12 Reflect the height of existing buildings as perceived at the street edge.

- a. Maintain a mostly two-story façade height at the street level. See design standards for exceptions.
- b. Floor-to-floor heights should appear similar to those of traditional buildings within the overlay area.

BUILDING AND ROOF FORM

Design Intent:

Buildings should have simple forms, in keeping with the traditions of Western Character.

The list below identifies some traditional building and roof forms that reflect Western Character:

- Simple rectilinear boxes, especially those of commercial and retail-oriented uses. Other roofs are flat, or have a gabled roof that is concealed with a false front.
- Institutional buildings, including churches, often have distinctive, more varied forms.
- Lodging facilities often have sloping roofs, of gable or hipped forms.

Area 1 & Area 2 Design Guidelines:

1.13 Use a simple building form for a new building or addition.

- a. Basic rectilinear form is preferred with any variation in the form to be subordinate to the overall form. Appropriate ways to vary the form include:
 - » Varying height to reflect different building modules
 - » Increasing the setback for a portion of the front wall
 - » Stepping back an upper floor to maintain a lower scale at the street edge
- b. For a larger building, divide it into smaller modules that reflect the scale of traditional building and lot widths in the area.
- c. Attention to the design of transitions between modules in larger buildings is important; however too much variation, which results in an overly busy design, is inappropriate.
- d. Complement the existing building form when providing an addition.

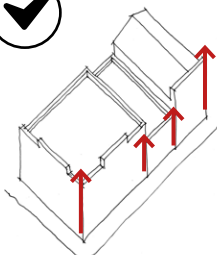


These curvilinear building accents are not subordinate to the rectilinear form and are inappropriate.

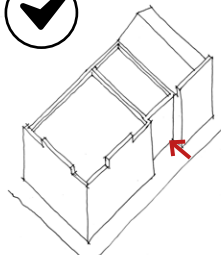


Use a simple building form for a new building or addition. This building would be an appropriate design in Area 2.

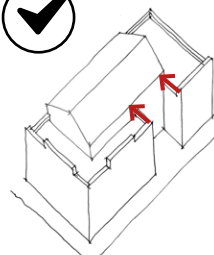
Appropriate building and roof form combinations



Variation in height



Wall plane setback



Upper level setback and wall plane setback

[Insert a side bar referencing the form standards in the LDR]

[Insert a side bar referencing slope standards in the LDR]

Area 1 Design Guidelines:

1.14 A roof form should be similar to those used traditionally.

- a. A flat roof is preferred, with a stepped parapet or similar treatment.
- b. A hip roof similar in size and scale to the traditional building on the town square is appropriate.



A flat roof is preferred, with a stepped parapet or similar treatment in Area 1.



A roof form should be similar to those used traditionally in Area 1.



Inappropriate complex roof form.

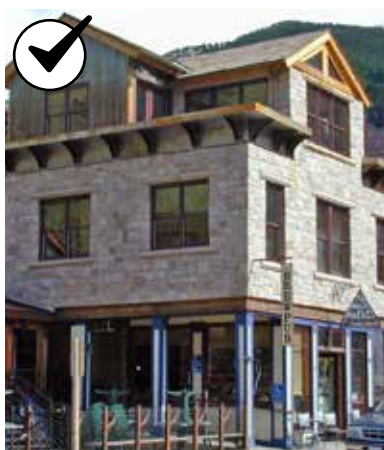
Area 2 Design Guidelines:

1.15 A roof form should be similar to those used traditionally.

- a. A flat roof is appropriate, with some variation in the cornice line on larger buildings.
- b. Sloped roofs are appropriate, and should be within a similar slope/pitch as traditional buildings. It should include a generous eave overhang to facilitate snow shedding and provide shadows that enhance interest and convey a sense of scale.
- c. A combination of a flat and sloped roof is appropriate; however this should not be overly complex in form.



Sloped roofs are appropriate, and should be within a similar slope/pitch as traditional buildings in Area 2.



In Area 2, a combination of a flat and sloped roof is appropriate; however, this should not be overly complex in form.



A flat roof is appropriate, with some variation in the cornice line on larger buildings in Area 2.

FAÇADE DESIGN

Design Intent:

The design of a building façade greatly impacts how it is perceived and its relationship to the street and site. The arrangement, rhythm and proportion of elements like windows and doors are all important factors. The overall composition of a wall is also important. Facades should have an orderly rhythm of elements that break down the building into discernible components. A larger building wall should be designed with smaller components to establish a human scale and add visual interest.

Area 1 & Area 2 Design Guidelines:

1.16 Design a building to incorporate a “base, middle, cap” to divide a façade into separate components.

- a. Express a traditional base, middle and cap composition with well-defined ground or lower floors and a distinctive but not overly ornate “cap” element framing middle building floors.

1.17 Arrange elements on a façade to create a generally consistent rhythm and sense of continuity.

- a. Use consistent window and door sizes on a façade.

1.18 Design a building to provide a vertical scale that is similar to nearby traditional buildings.

- a. Use similar floor-to-floor heights.

1.19 Design a building façade to be compatible with its setting.

- a. Generally align façade features, such as canopies, windows and roof cornices on parapets, with those on adjacent traditional buildings. This should not be a ridged alignment, but should provide some variation as is does now.

Area 1 Design Guidelines:

1.20 In Area 1, use a transparency-to-wall ratio similar to that found on traditional buildings in the area.

- a. Provide more transparency at the ground floor, with “punched” window openings provided in the upper floor walls.
- b. Using large areas of glass is inappropriate on an upper floor.

Area 2 Design Guidelines:

1.21 In Area 2, use a transparency-to-wall ratio similar to that found on traditional buildings in the area; however, using an accent feature with more transparency is appropriate.

- a. Glazing should be detailed to convey a sense of human scale.



Arrange elements on a façade to create a generally consistent rhythm and sense of continuity.



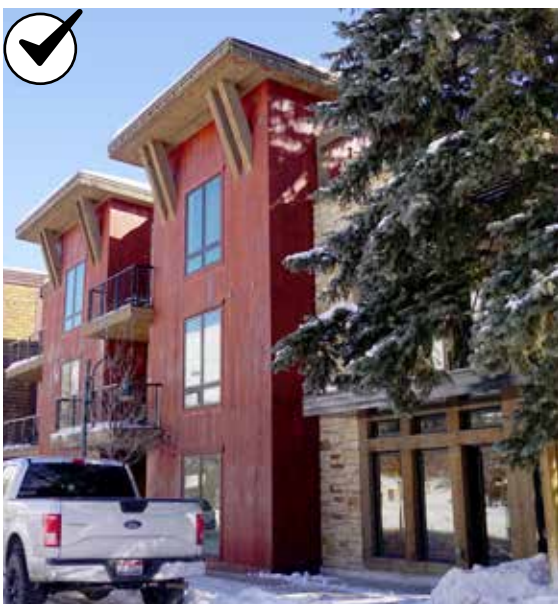
Express a traditional base, middle and cap composition with well-defined ground or lower floors and a distinctive “cap” element framing middle building floors in Area 2.



Provide more transparency at the ground floor, with “punched” window openings provided in the upper floor walls in Area 2.



Use vertical or horizontal variations in materials or color, including transparency-to-wall patterns in Area 1 and Area 2.



Use vertical and horizontal articulation techniques to convey a sense of human scale in a building façade in Area 2.

BUILDING ARTICULATION

Design Intent:

A new building should reflect the scale of traditional buildings. Scale includes not just the overall height and width of a building, but also the sizes and proportions of building features, as they relate to each other and to people. Building features are defined by simple vertical and horizontal articulation techniques that establish a sense of human scale, add visual interest, and prevent monotonous walls.

Area 1 & Area 2 Design Guidelines:

1.22 Use vertical and horizontal articulation techniques to convey a sense of human scale in a building façade.

- a. Articulation methods include:
 - » Using accent lines, fenestration patterns, or similar architectural techniques to create vertical and horizontal expression lines.
 - » Vertical or horizontal variations in materials or color, including transparency-to-wall patterns.
 - » Modest wall plane offsets, such as notches or projections (such as columns, moldings or pilasters)
- b. Providing articulation techniques in buildings is important; however too much variation, which results in an overly busy design, is inappropriate.



Appropriate articulation techniques that could be employed for a larger building in Area 2 include:

- building step down (3 to 2-story)
- change in color to define modules
- horizontal banding
- horizontal canopies
- horizontal window patterns
- upper story setback
- wall offsets



Providing articulation techniques in buildings is important; however too much variation, which results in an overly busy design, is inappropriate. There is too much variation in the use of articulation techniques in this building. This includes variations in the application of materials, color, architectural details and features in an attempt to reflect a traditional building size in a larger form.



Providing articulation techniques in buildings is important; however too much variation, which results in an overly busy design, is inappropriate. There is too much variation in the use of articulation techniques in this building. This includes variations in the application of materials, color, architectural details and features in an attempt to reflect a traditional building size in a larger form.



Providing an accent feature with more transparency is appropriate in Area 2.



Area 2 materials should have a muted color and finish, and reflect high quality design and detailing.



Building materials should be proven to be durable in the Jackson climate, such as wood when it is properly maintained.

BUILDING MATERIALS

Design Intent:

Primary building materials should be authentic, durable, and reflect Western Character. Materials should have a muted color and finish, and reflect high quality design and detailing. In Area 1, the palette of materials should be more limited in order to promote a sense of visual continuity around the Town Square. In Area 2, more diversity in the materials is appropriate, albeit within the range of those used traditionally.

Area 1 & Area 2 Design Guidelines

1.23 Avoid using materials that are out of scale with those seen traditionally, and have a color, profile, and finish that is out of character.

- a. Highly polished stone and shiny metals are inappropriate as a building material.
- b. Huge timber logs, large cut stones, and concrete slabs are inappropriate materials.
- c. Materials should have a muted color and a matte finish. However, some accent colors are appropriate as long as they have a matte finish and aren't neon or similar.

1.24 Use high quality, durable materials.

- a. The material should be proven to be durable in the Jackson climate, such as wood when it is properly maintained.
- b. The material should maintain an intended finish over time or acquire a patina, when it is understood to be a desired outcome.
- c. Materials at the ground level should withstand on-going contact with the public, sustaining impacts without compromising the appearance.
- d. Metals and similar type panels should be installed without dents and/or blemishes in the product.

1.25 New roof materials for sloped surfaces contribute to a sense of visual continuity in keeping with Western Character.

- a. Appropriate roof materials include:
 - » Standing seam metal roofs (low and narrow seam profile)
 - » Composition shingles
 - » Photo voltaic systems in dark matte, and non-reflective finishes.
- b. Inappropriate roof materials include:
 - » Red clay roof tiles, or synthetic simulations
 - » Vinyl shake or similar shingles

Area 1 Design Guidelines:

1.26 Building materials should contribute to a sense of visual continuity in keeping with Western Character.

- a. The following materials are appropriate (also see the materials chart on the following two pages for images.):
 - » Painted or stained wood siding (horizontal lap or vertical board and batten)
 - » Logs
 - » Stone, as natural rock or cut with a rough, matte finish
 - » Authentic Stucco (scored and textured to provide a sense of scale)
 - » Metal (only as an accent material for a storefront or windows) with a matte finish



Primary building materials should be authentic, durable, and reflect Western Character.

Area 2 Design Guidelines:

1.27 Building materials should contribute to a sense of visual continuity in keeping with Western Character.

- a. In Area 2, the use of the following materials is appropriate (also see the materials chart on the following page for images.):
 - » Wood siding (usually horizontal lap, although sometimes vertical board and batten. These are stained or painted)
 - » Stone, as natural rock or cut with rough/matte finish
 - » Brick
 - » Authentic Stucco (scored and textured to provide a sense of scale)
 - » Logs
 - » Architectural cast concrete (as an accent material that is scored to provide a sense of scale)
 - » Metal with a matte finish (typically no more than 25% of the building front)
 - » Cement-board panels and lap-siding that is scaled similar to traditional materials
- b. If using alternative materials they should also have a similar profile, texture and finish as natural materials. Some synthetic siding has an exaggerated, rusticated finish that is an inaccurate representation of authentic clapboard and should not be used. Other inappropriate materials include:
 - » Vinyl siding
 - » Aluminum siding
 - » Unfinished concrete masonry unit (CMU) as a primary material



Cement-board panels and lap-siding that is scaled similar to traditional materials are appropriate in Area 2.



Building materials should contribute to a sense of visual continuity in keeping with Western Character. These buildings use an appropriate combination of materials for Area 2.

Appropriate Primary Building Materials Chart Examples

All of the building materials provided below are appropriate for use in Area 2. If it is also appropriate for Area 1 it is noted.



Formed concrete (wood-like)



Cast concrete (artistic)



Formed concrete (artistic)



Formed concrete (colored blocks)



Natural stone (Area 1)



Natural stone (Area 1)



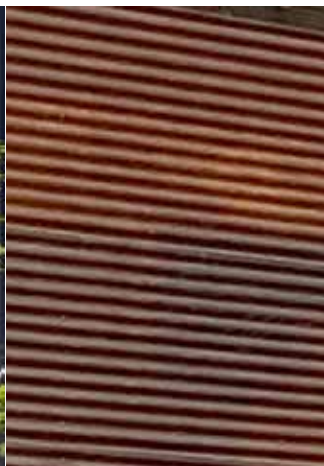
Slate tiles



River rock (Area 1)



Metal panel (crimped battens)



Corrugated metal (rusticated)



Metal lap



Metal panel (rusticated)

Appropriate Primary Building Materials Chart Examples

All of the building materials provided below are appropriate for use in Area 2. If it is also appropriate for Area 1 it is noted.



Timber (Area 1)



Wood slat



*Vertical boards (stained)
(Area 1)*



*Vertical boards (weathered)
(Area 1)*



Chinked logs (Area 1)



Stained wood lap (Area 1) =



Natural wood lap (Area 1)



Burl wood (Area 1)



Cement board (lap)



Cement board (grooved)



*Cement board (board &
batten)*



Cement board (timber-like)



ARCHITECTURAL DETAIL

Design Intent:

Buildings should include architectural detailing that is simple in character, provides a sense of scale, provides visual interest, and is authentic in its application of materials. Architectural details that reflect these Western Character attributes include:

- Frames and moldings around windows and doors
- Simple cornices at parapets
- Awnings or sloped canopies to shelter the sidewalk and shade display windows
- Canopy posts
- Entry porticoes
- Authentic application of materials
- Support systems

Area 1 & Area 2 Design Guidelines

1.28 Simple, authentic and unembellished architectural detailing is appropriate.

- Elaborate architectural treatments, such as decorative moldings at cornices, windows and door surrounds, are inappropriate.
- Exposed timber structural elements are appropriate as detailing.
- Simple or stepped parapet walls are appropriate.
- Tacked-on detailing is inappropriate.
- Materials should typically transition at inside corners, belt courses, cornice lines, foundation lines, window and door moldings, and similar.



In Area 1 & 2 simple, authentic, and unembellished architectural detailing is appropriate as shown in the three images above.



Simple or stepped parapet walls are appropriate; however, the mixed cornice treatment is inappropriate since it is too busy.



In Area 2 this building would be appropriate with the exception of the following details since they don't reflect authentic architectural details. These occur on the upper floor and include tacked-on window sills and sloped roof components.

Appropriate Architectural Detailing: Simple, Authentic and Unembellished

All of the architectural details provided below are appropriate for use in Area 2. If it is also appropriate for Area 1 it is noted.



Anchor system



Framing connections



Framing connections



Material change



Material change



Material change



Metal frame system



Metal frame system



Material change



Material change



Material change (Area 1)



Material change (Area 1)

SECTION V.

Historic Preservation Design Guidelines of Appendix B to the Town of Jackson Land Development Regulations are hereby added to read as set forth on the following pages:

HISTORIC PRESERVATION DESIGN GUIDELINES



These design guidelines are for the treatment of historic resources in the Town of Jackson. They address alterations and improvements to the exteriors of historic properties with the objective of preserving their historic significance. They also provide information related to new construction that may occur on a property that includes a historic resource.

PLANNING A PROJECT FOR A HISTORIC PROPERTY

USING THE PRESERVATION GUIDELINES

The guidelines shall be applied in these ways:

- **Voluntary use:** Any property owner who owns a property that they consider to have historic significance may use these guidelines voluntarily to help plan projects that will preserve the building.
- **Use with incentives:** The town offers incentives for preservation, for which property owners may apply if they have designated their property. The town will use these guidelines to determine that the conditions have been met for providing the incentive. A Certificate of Appropriateness (CofA) is required prior to issuing a permit for any improvements to the property.
- **Use with officially designated historic resources:** Some properties may be formally recognized as a Designated Historic Resource by town council. A Certificate of Appropriateness (CofA) is required prior to issuing a permit for any improvements to the property.



REHABILITATION PRINCIPLES AND PRESERVATION BEST PRACTICES

When considering a rehabilitation project of a historic building for reuse, the following objectives will be met.

Respect the character of the building - Do not change the style of the building or make the structure look older than its actual age. Confusing the character by mixing elements of different styles can weaken the appearance and integrity of the structure.

Protect and maintain character-defining features - Character-defining features should be treated with sensitivity. The best practice is to maintain these features from the outset.

Repair character-defining features when possible - Use best practices when repairing character-defining features to minimize damage to the original materials.

Design an addition to respect the existing structure, and maintain its historic integrity - When constructing an addition, do not try to emulate an existing style to make the addition look older than its actual age, unless this is a *reconstruction* (see following page) of a resource. A contemporary design for an addition to an existing structure is appropriate as long as it does not destroy character-defining features, and the design is compatible with the building. Additions should relate to the original building in general massing and scale, but should appear as new.



The historic building on the left was somewhat modified inappropriately. The inappropriate modifications include: the wood shingle infill within the storefront transom; the aluminum framing; and the brick kickplate. The recent rehabilitation is an appropriate "rehabilitation" of the Jackson Drug Co. building. In this case, the altered storefront was replaced with a new storefront that represented a more traditional storefront configuration, and the contemporary canopy is a compatible replacement. The next step would be to replace the casement windows with a more traditional double-hung wood window configuration, especially in those locations that face the street.

ACCEPTED TREATMENTS FOR HISTORIC RESOURCES

The following treatments for historic properties may be considered when planning a preservation project. Much of the language addresses buildings; these treatments also apply to sites, objects and structures.

Preservation - "Preservation" is the act of applying measures to sustain the existing form, integrity and material of a historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

Restoration - "Restoration" is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. This may apply to an entire building, or to restoring a particular missing feature.

Reconstruction - "Reconstruction" is the act or process of depicting, by means of new construction, the form, features and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific time and in its historic location. This has limited application, in terms of an entire building, but may apply to a missing feature on a building.

Rehabilitation - "Rehabilitation" is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural or architectural values. Rehabilitation may include a change in use of the building or the construction of an addition. This term is the broadest of the permitted treatments and applies to most work on historic properties.

Combining Treatments - For many projects a "rehabilitation" approach will be the overall strategy, because this term reflects the broadest, most flexible of the approaches. Within that, however, there may be a combination of treatments used as they relate to specific building components. For example, a cornice in good condition may be preserved, a storefront base that has been altered may be restored, and a missing kickplate may be reconstructed.

PREFERRED SEQUENCE OF ACTIONS

Preserving key, character-defining features is a fundamental precept of preservation. Therefore, selecting the appropriate treatment for a character-defining feature and cultural resource is important. The method that requires the least intervention is always preferred. By following this tenet, the highest degree of integrity will be maintained. The following treatment options appear in order of preference. When planning work, follow this sequence:

Step 1. Preserve:

If a feature is intact and in good condition, maintain it as such.

Step 2. Repair:

If the feature is deteriorated or damaged, repair it to its historic condition.

Step 3. Replace:

If it is not feasible to repair the feature, then replace it in kind, (e.g., materials, detail, finish). Replace only that portion which is beyond repair.

Step 4. Reconstruct:

If the feature is missing entirely, reconstruct it from appropriate evidence. If a portion of a feature is missing, it can also be reconstructed.

Step 5. Compatible Alterations:

If a new feature (one that did not exist historically) or an addition is necessary, design it in such a way as to minimize the impact on historic features. It is also important to distinguish a new feature on a historic building from the historic features, in subtle ways.

EXAMPLE DESIGN GUIDELINES FORMAT

The design guidelines in this document use a standard format. This format includes a series of five items, which are noted and described in the diagram below.

A Design Topic Heading

This is shown in bold, is numbered, and is always at the top of the page.

B Intent Statement

The intent statement follows the design topic heading. It explains the goal of the design guidelines that follow. If an application does not specifically meet one of the design guidelines, it can be reviewed using the intent statement.

C Design Guidelines

Design guidelines describe an intent or desired outcome. They are numbered for easy reference.

D Additional Information

This information is found in a bullet list that follows a design guideline, where applicable. This provides appropriate and inappropriate strategies for meeting the intent of the design guideline.

E Images and Illustrations

Visuals are included to clarify the intent of the guideline. Captions provide more detail about how the image is to be interpreted.



A MATERIALS

B Design Intent:

Preserve traditional materials that contribute to the overall character of the building.

Design Guidelines:

C 1.79 Preserve original building materials and their composition.

- D** → a. Building materials are often combined to define building divisions such as the base (foundation), middle (walls), and cap (roof and/or cornice). This composition should be preserved.

E

Preserve original building materials.

Appropriate and Inappropriate Solutions

In many cases, images and diagrams in the design guidelines are marked to indicate whether they represent appropriate or inappropriate solutions.

✓ A check indicates appropriate solutions.

✗ An "X" mark indicates solutions that are inappropriate.

HISTORIC PRESERVATION DESIGN GUIDELINES



CHARACTER-DEFINING FEATURES

Design Intent:

Preserving the integrity of a historic property and/or cultural resource is a fundamental objective. To do so, character-defining features should be preserved to the extent feasible.

Design Guidelines:

- 1.29 Preserve character-defining features of buildings, and cultural resources.
 - a. This includes details that define the building's architectural style as well as its materials, doors and windows.
 - b. Cultural resources can include park features, bridges and cemeteries, for example.
- 1.30 Retain a character-defining feature that is in good condition.
 - a. Repair, rather than replace a deteriorated feature, when feasible.
- 1.31 Avoid removing a damaged character-defining feature that can be repaired.
- 1.32 Patch, piece-in, splice, consolidate or otherwise upgrade existing materials, using best building practices.
- 1.33 When disassembly of a character-defining feature is necessary for its repair, use methods that minimize damage to it. Document its location so it may be repositioned accurately.

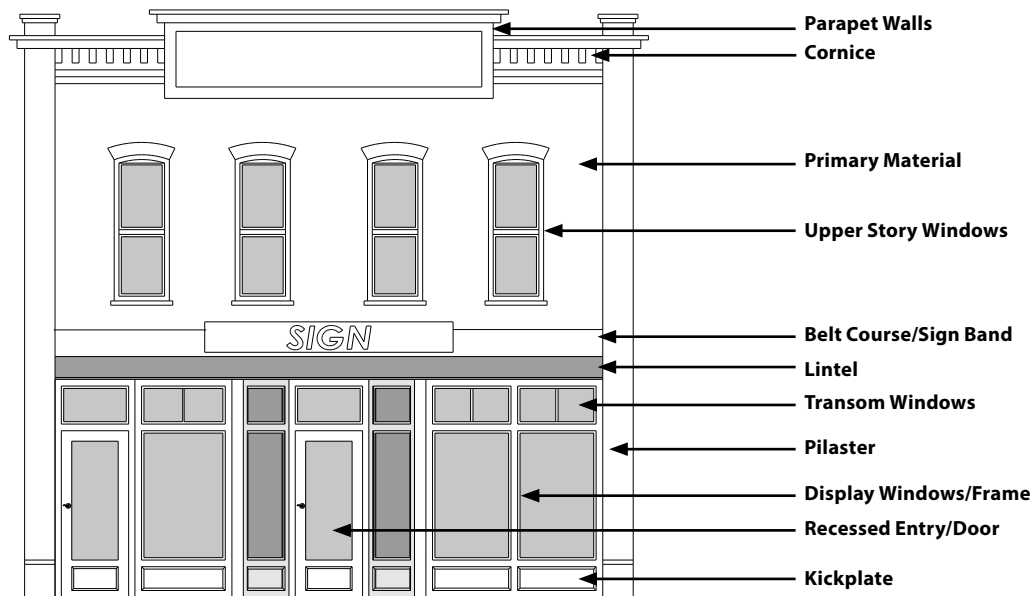


Preserving the integrity of historic and cultural resources is a fundamental objective.



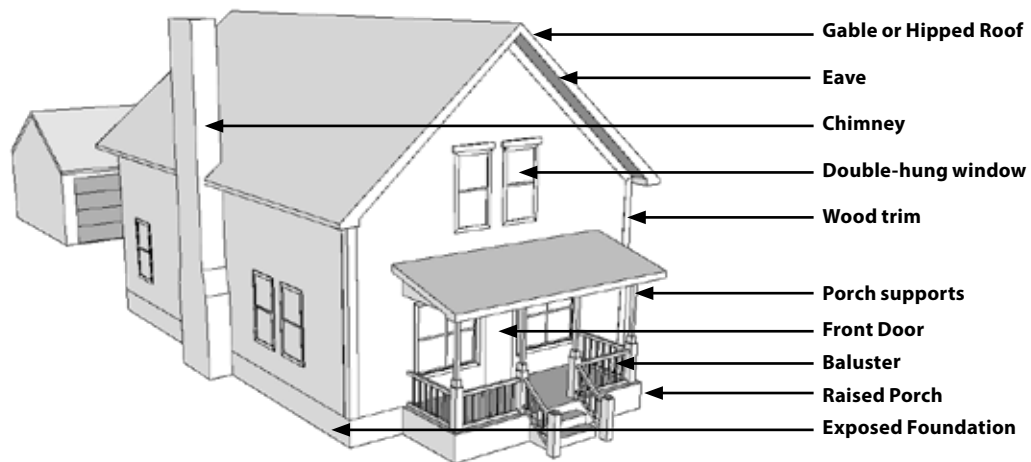
Retain a character-defining feature that is in good condition, such as this entry feature and covered boardwalk.

Character-defining features of a commercial storefront

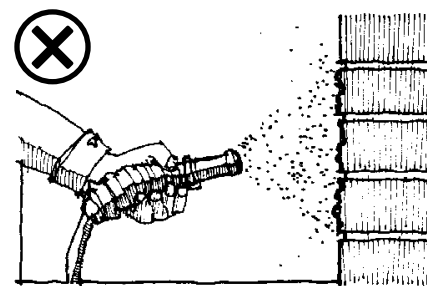
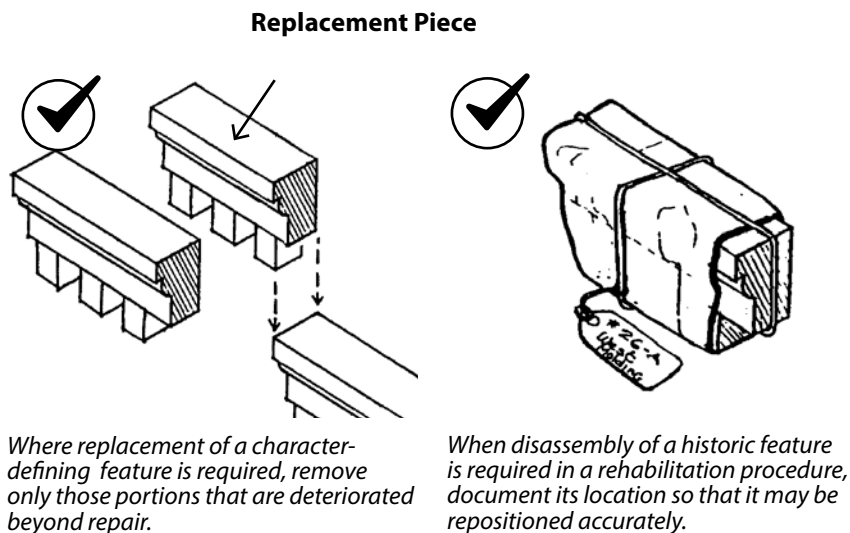


These are typical character-defining features for a historic storefront building. There are a variety of historic commercial building types in Jackson. Reference the Town of Jackson's historic survey when considering a rehabilitation project. The survey will often provide information on a building's history and identify character-defining features.

Character-defining features of a residential building



These are typical character-defining features for a historic residential building type in Jackson. Reference the Town of Jackson's historic surveys when considering a rehabilitation project. The survey will often provide information on a building's history and identify character-defining features.



Do not use harsh cleaning methods on any masonry or wood surfaces.



Use procedures for cleaning, refinishing and repairing character-defining features that will maintain the original finish. These include paint removal where appropriate. Typically a test patch is completed first to evaluate the original material.

1.34 Use procedures for cleaning, refinishing and repairing character-defining features that will maintain the original finish.

1.35 Employ best practice treatments that will protect materials and details.

- a. These include rust removal, caulking, limited paint removal and application of paint or stain where appropriate.

1.36 Avoid adding a new feature that is not part of the original building fabric.

- a. For example, decorative millwork should not be added to a building if it was not an original feature.

For More Information:

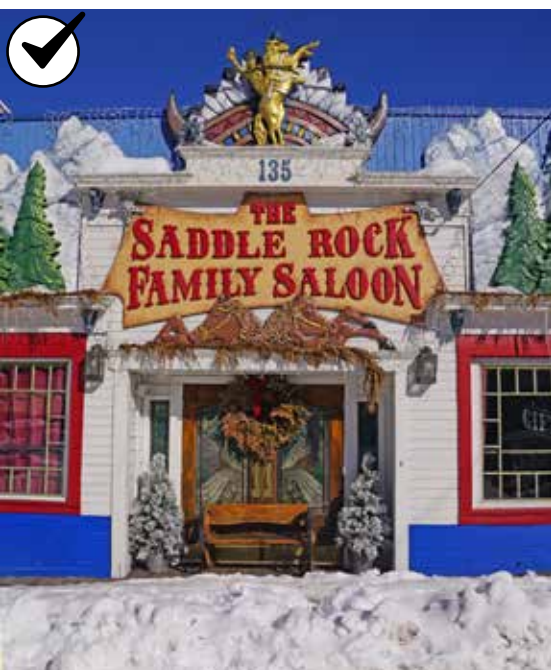
The following National Park Service preservation briefs at www.nps.gov provide additional information on the treatment of character-defining features.:

Preservation Brief 11: Rehabilitating Historic Storefronts

<https://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>

Preservation Brief 45: Preserving Historic Wood Porches

<https://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>



Maintain parapet walls and cornices on a flat roofed structure.



Preserve the original eave depth of a sloping roof.

BUILDING AND ROOF FORM

Design Intent:

Maintain the original building and roof form of a historic building. If replacement is needed, utilize a roof material that is in keeping with the original.

Design Guidelines:

- 1.37 Maintain the original building form and that of its roof.
- 1.38 Avoid altering the basic building form or the angle of an original roof.
- 1.39 Preserve the original eave depth of a sloping roof and the original parapet height on a flat roof.
- 1.40 Maintain parapet walls and cornices on a flat roofed structure.
- 1.41 Provide functional coping that is compatible with the existing building façade.
- 1.42 For a sloped roof, use a new roof material that conveys a scale, texture and finish which is similar to the original.
- 1.43 For a sloped roof, using shingles that contain embedded photovoltaic systems is also appropriate.



Maintain the original building and roof form of a historic building.

MATERIALS

Design Intent:

Preserve traditional materials that contribute to the overall character of the building.

Design Guidelines:

1.44 Preserve original building materials and their composition.

- Building materials are often combined to define building divisions such as the base (foundation), middle (walls), and cap (roof and/or cornice). This composition should be preserved.

1.45 Avoid removing original materials that are in good condition.

1.46 Remove only those materials which are deteriorated, and must be replaced.

1.47 Repair a deteriorated primary building material by patching, piecing-in, consolidating or otherwise reinforcing it.

1.48 When replacing materials on a primary surface, match the original in composition, scale and finish.

- If the original material is wood clapboard, for example, then the replacement material should be wood as well. It should match the original in size, the amount of exposed lap and in finish.
- An alternative material may be considered if the size, character and finish conveys the appearance of the original.



Preserve original building materials.



Cap	Wood shingle	Wood lap	Wood lap	Wood lap	Wood lap
Middle	Wood lap/ or log	Wood shingle	Wood lap	Brick	Stone
Base	Foundation	Foundation	Foundation	Foundation	Foundation

Building materials on residential buildings are often combined to define building divisions such as the base (foundation), middle (walls), and cap (roof and or cornice). The original composition of materials should be preserved.



Consider removing later covering materials that have not achieved historic significance.

1.49 Replace only the amount required. For example, if a few boards are damaged beyond repair, then only they should be replaced, not the entire wall.

1.50 Do not strip existing painted wood surfaces to bare wood to achieve a “rustic look.”

1.51 Do not use harsh cleaning methods, which can inhibit the function and appearance of the existing material.

- a. For example, sandblasting is inappropriate because it can damage the protective coating and change the appearance of the material.

1.52 Covering original material with new materials is inappropriate.

- a. Vinyl siding, aluminum siding and new stucco are inappropriate on historic buildings. Other imitation materials that are designed to look like wood or masonry siding, fabricated from other materials, are also inappropriate.
- b. If a property already has a non-contributing building material covering the original, it is not appropriate to add another layer of new material, which would further obscure the original.

1.53 Consider removing later covering materials that have not achieved historic significance.

- a. Once the non-contributing siding is removed, repair the original, underlying material.
- b. If a building has a stucco finish, removing the covering may be difficult, and may not be desirable. Test it first to assure that the original material underneath will not be damaged.

For More Information:

The following National Park Service preservation briefs at www.nps.gov provide additional information on the treatment of historic materials:

Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings

<http://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>

Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings

<http://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Preservation Brief 16: The Use of Substitute Materials on Historic Building Exteriors

<http://www.nps.gov/tps/how-to-preserve/briefs/16-substitute-materials.htm>

Preservation Brief 26: The Preservation and Repair of Historic Log Buildings

<https://www.nps.gov/tps/how-to-preserve/briefs/26-log-buildings.htm>

Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings

<https://www.nps.gov/tps/how-to-preserve/briefs/47-maintaining-exteriors.htm>

Using Alternative Materials on a Historic Building

The design guidelines sometimes refer to the use of alternative materials when replacing character-defining features and architectural details, such as windows, siding and molding. An alternative material is one which is different from that used originally for a specific application. Alternative materials will be reviewed on a case-by-case basis. Such materials may include:

- Aluminum siding, and some other types of metal materials such as corrugated metal roof materials.
- Cementitious fiber siding
- Non-wood replacement of wood columns (cast resin)
- Other non-original materials

Some common alternative materials for specific architectural features include wood, plaster, concrete and stucco for porch columns, wood for railings, asphalt shingles for roofs and wood or fiber cement for trim. These examples are not an exhaustive list; other alternative materials may be used for these architectural features and other architectural features may also be replaced with alternative materials.

Alternative materials may also include materials used to replace historic architectural details such as a resin-cast cornice used in place of a stamped metal cornice. In other cases, an alternative material may be traditional when used for other applications, but new for the particular detail being considered. Using wood to replace an original stamped-metal cornice is an example.

Alternative materials may be considered by the city on a case-by-case basis as replacement materials, or for use on a new addition, or a new building in a historic district. The city will consider factors including:

Potential Impact on Historic Significance

Removing original material diminishes the integrity of a historic property by reducing the percentage of building fabric that remains from the period of historic significance. Retaining the original material is always preferred. If this is not feasible, alternative materials may be considered. When used, an alternative material should convey the character, including detail and finish, of the original to the greatest extent feasible.

Appearance

An alternative material should also have a similar profile, texture and finish as the original material. Some synthetic siding has an exaggerated, rusticated finish that is an inaccurate representation of original clapboard. Vinyl products are also inappropriate alternative materials on historic properties.



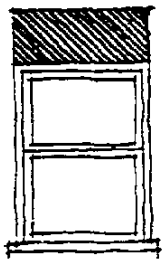
An alternative material should convey the character, including detail and finish, of the original to the greatest extent feasible (aluminum clad windows and cement board).



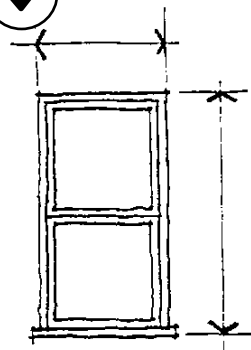
An alternative material should also have a similar profile, texture and finish as the original material. The cement board siding provides an appropriate profile, but the surface should have a matte finish.



Preserve the ratio of window openings to solid wall on a primary façade.



Reducing an original opening to accommodate a smaller window or increasing it to receive a larger window is inappropriate.



WINDOWS

Design Intent:

Maintain the historic alignment, spacing and dimensions of window openings. Preserve traditional windows that have distinct stylistic features, if feasible. When a new window is needed, design it to be in character with the building.

Design Guidelines:

1.54 Preserve the position, number and arrangement of existing windows in a primary building wall.

- On a primary façade, enclosing an existing window opening is inappropriate, as is adding a new window opening.
- If a new window is needed, consider locating it on a side or rear wall.

1.55 Preserve the ratio of window openings to solid wall on a primary façade.

- Significantly increasing the amount of glass on a character-defining façade will negatively affect the integrity of the structure.
- Alteration may be appropriate on side and rear walls that are less visible from the public way.

1.56 Preserve the size and proportion of an existing window opening on a primary wall.

- Reducing an original opening to accommodate a smaller window or increasing it to receive a larger window is inappropriate.
- Altering a window that is not visible from the street may be appropriate.

1.57 Use durable window materials.

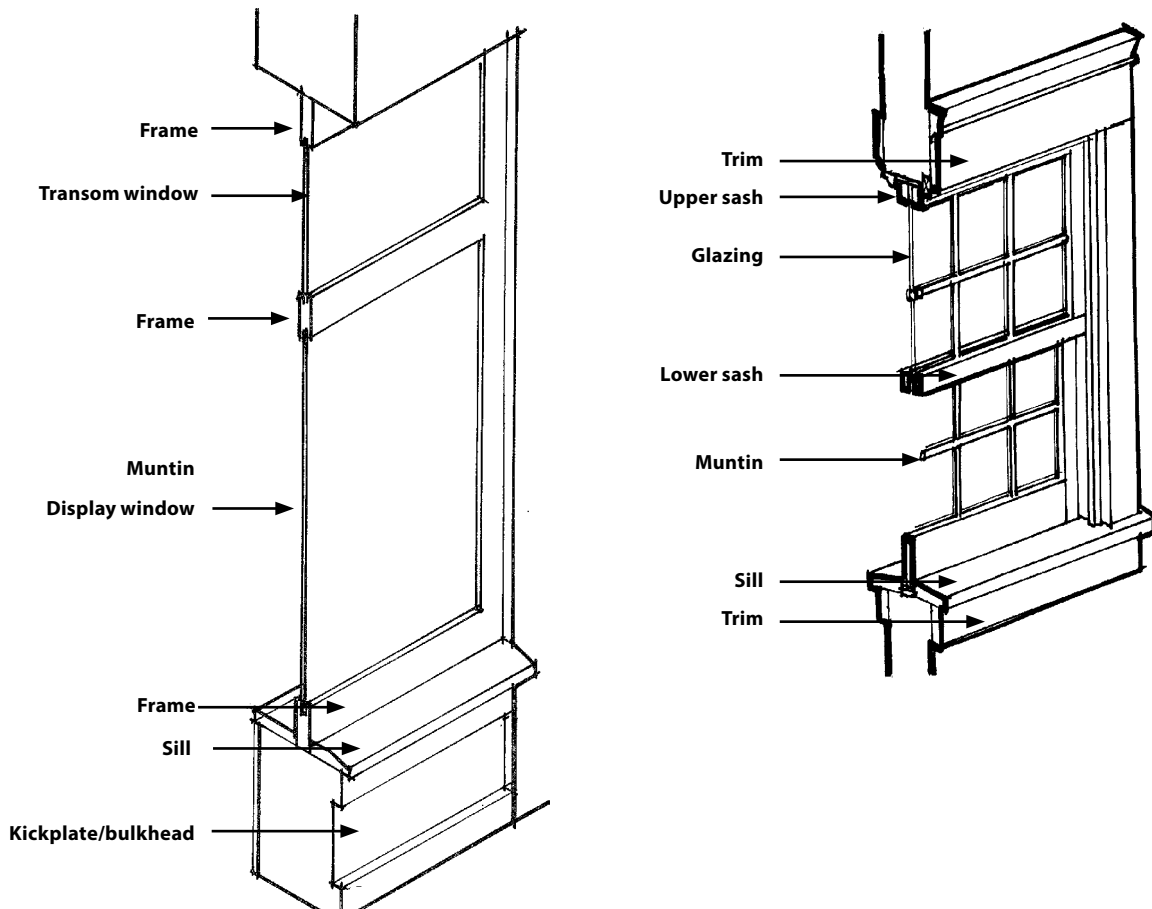
- Use a metal or wood frame, when possible. It should have a dimension and profile similar to those used historically.
- Avoid using a window material that does not have a proven durability.
- Avoid using a thin window frame on a primary façade.

1.58 In a replacement window on a primary wall, use a material that appears similar to the original, when feasible.

- Using the same material as the original is preferred, especially on street-facing façades. A substitute material should match the original profile.

Typical Window Types

Common original window types that may be found on historic properties are illustrated below.



For More Information:

The following National Park Service preservation briefs and National Trust for Historic Preservation article provide additional information on the treatment of historic materials:

Preservation Brief 9: The Repair of Historic Wooden Windows

<http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

National Park Service Preservation Tech Notes (scroll down page for information on windows)

<http://www.nps.gov/tps/how-to-preserve/tech-notes.htm>

National Trust for Historic Preservation Article on Window Retrofits

<http://www.preservationnation.org/who-we-are/press-center/press-releases/2012/new-windows-study.html#.UdshFXFsikl>

Benefits of Wood Window Retrofits

Sensitive stewardship of the existing building stock significantly reduces environmental impacts. Re-using a building and its original wood windows preserves the energy and resources invested in its construction, reduces demand on landfill space and eliminates the need for producing new construction materials. Manufacturing of many new building materials uses substantial levels of energy. This can be reduced significantly if historic structures and their wood windows are retained rather than demolished.

Many historic building materials, such as a building's wood windows have long life cycles, which contribute to their sustainability. They were built for longevity in a manner that also allows for repairs. Some replacement features for a historic building, such as synthetic window materials, advertise they are: low in maintenance, inexpensive, and durable etc. In fact, they have a significantly shorter life span than historic wood windows, are difficult to repair, and are incompatible with historic building materials, and therefore not as great as advertised.

An older window is often identified as being a major source of heat loss, when other parts of a building are typically the major sources. For example, as much as 50% of the energy lost from a house is from air infiltration through the attic, uninsulated walls, and around the windows and door cavities, not through the glass in a window itself. Repairing, weather-stripping and insulating an original window is typically more efficient and much less expensive than new windows, as well as sound preservation practice. Retrofits also extend the life of existing windows, avoid production of new materials, reduce waste and preserve a home's character. Retrofits have proven to be cost effective over the long-term in national studies.

Substantial amounts of information are available that document the energy saving benefits of retaining and repairing a historic window, rather than replacing it.

For More Information:

The following National Trust for Historic Preservation article at www.preservationnation.org provides additional information on the treatment of historic materials: **Saving Windows, Saving Money** (<https://forum.savingplaces.org/connect/community-home/librarydocuments/viewdocument?DocumentKey=59eab0e4-f0f4-45c5-97c8-147a8def82ae&CommunityKey=00000000-0000-0000-0000-000000000000&tab=librarydocuments>)

DOORS

Design Intent:

Maintain the fundamental alignment, spacing and dimensions of door openings on a primary façade. When a new door is needed, design it to be in character with the building.

Design Guidelines:

- 1.59 Preserve the size, position and proportion of key door openings on the primary façade.
 - a. Altering a door opening on a side or rear elevation may be appropriate.
- 1.60 Avoid changing the position of key door openings on the primary façade.
- 1.61 Preserve traditional doors with distinct stylistic features, if feasible.
- 1.62 When replacing a key door, use one that is compatible with the building style.



Preserve traditional doors with distinct stylistic features, if feasible. This door is likely a reconstruction of the historic door and is an appropriate historic preservation approach.



Preserve the size, position and proportion of key door openings on the primary façade.



Maintain the fundamental alignment, spacing and dimensions of door openings on a primary façade.

ADDITIONS

Design Intent:

It is important to maintain the general appearance of a historic building, especially from key vantage points in the public way. An addition should be planned to minimize damage to the historic building by preserving character-defining features, building form, etc. Locating a new addition to the rear or the side of the historic building is the best approach, in order to reduce any negative impacts to the building. It also should be compatible with the fundamental characteristics of the historic building while appearing as a new alteration.

Impact Considerations for Additions:

- Consider impacts of the addition to the visual and physical qualities of the property and to one's ability to perceive its historic character.

Some impact-related factors to consider include:

- Is the addition visible? Locating the addition such that the historic building remains prominent is important.
- Does the addition remain visually subordinate to the historic building? Keeping it lower in scale, or separated from the historic building is important.
- Is one's ability to interpret the historic character retained? (Especially in terms of perceiving the original mass, scale and prominence of the property)
- Are alterations to key character-defining features avoided or at least minimized? Attaching the addition should not require destruction of key features on the historic building.
- Is the structural integrity of the property retained, or even improved?

For More Information:

Preservation Brief 14 New Exterior Additions to Historic Buildings:
Preservation Concerns

<https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

Design Variables for an Addition

Design variables include basic scale and proportion considerations that relate to the compatibility of the addition with the primary building and surrounding historic context. Design variables to consider include:

The height of the addition.

Keeping floor heights in the range of those on the historic building, or even lower, may help keep an addition visually subordinate to the historic building.

The degree of setback.

Does the original primary façade (front) remain visually prominent? An addition should be set back from the façade and other key walls that contribute to the character of the property. The setback should be a sufficient distance such that the historic building remains prominent.

Simplicity of design.

Is the design of the addition subordinate in character? The design should be relatively simple in architectural character and detailing, such that it does not call undue attention to itself. The historic building should remain the prominent feature.

Design Guidelines:

1.63 Locate an addition to be subordinate to the original structure.

- An addition should relate to the building in mass, scale, character and form.
- An addition to the front of a building is inappropriate.
- Greater flexibility on less visible façades may be appropriate.

1.64 Reflect the height of traditional commercial buildings as perceived at the street edge.

- A significant stepback for a third floor addition is required, to maintain a sense of two stories at the street level.
- The third story should maintain view corridors.



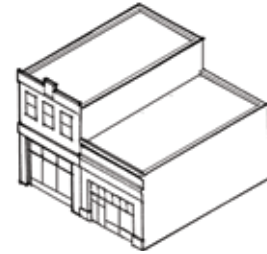
Street view

Set a rooftop addition back significantly from the building front on a commercial building.



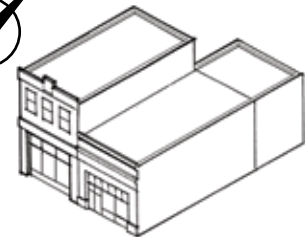
Bird's eye view

Locating an Addition to a Historic Commercial Building



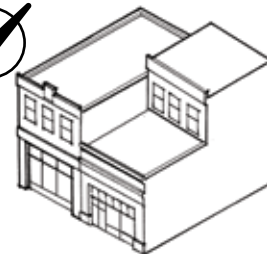
Historic Structure

The one and two-story commercial buildings illustrated above are historic.



Rear Addition

The rear addition illustrated at right is appropriate.



Rooftop Addition

The rooftop addition illustrated at right is appropriate because it is set back from the front façade.



This series of images portrays an appropriate rehabilitation of a 1) historic log cabin, 2) addition to it, and 3) a new accessory dwelling unit on the lot.

① Log cabin - appropriate historic building elements include:

- Preservation of building form and materials (except large picture window)
- New door
- Paint and stain

② Addition - appropriate building elements include:

- Ability to interpret old from new construction
- Mass and scale
- Materials
- Side wall inset to adjacent property

③ New accessory dwelling - appropriate building elements include:

- Ability to interpret old from new construction using contemporary construction techniques
- Mass and scale
- Window and door openings that reflect historic proportions.



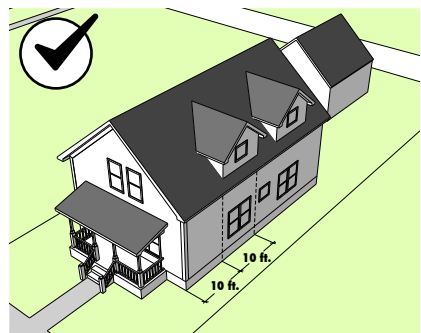
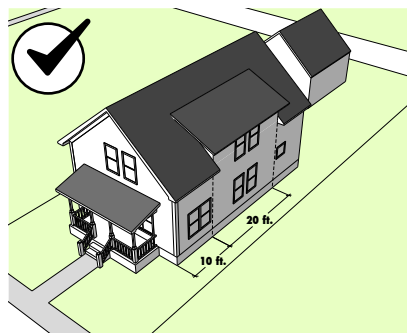
1.65 Locate an addition to retain open space patterns on the site.

1.66 Design an addition to a historic building to respect the character-defining features of the building.

1.67 Design an addition to be recognized as current construction.

1.68 Design a dormer addition(s) to minimize impacts on the building.

1.69 Separate the mass of a larger addition from the historic building and link the two with a smaller connector.



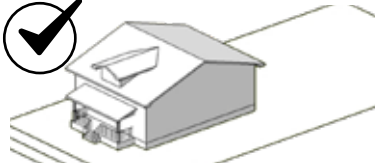
Do not visually overwhelm the historic roof with new dormers. Locate new dormers on side or rear-facing roof slopes, if possible, and below the ridge line.

Locating an Addition to a One-story Historic Residential Building

An addition to a historic residential structure should be subordinate to, and clearly differentiated from, the original historic building as illustrated below.

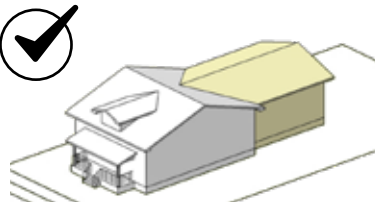
Original Structure

The one-and-a-half story bungalow illustrated at right is historic.



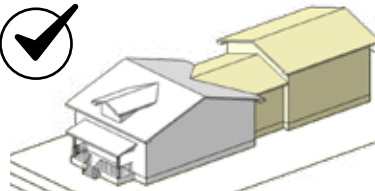
One-Story Addition

The addition illustrated at right is appropriate because it is clearly differentiated from the original structure with a change in roof plane and is nearly invisible from the street.



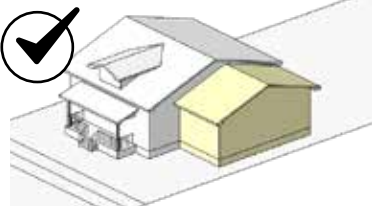
One-and-a-Half Story Addition

The addition illustrated at right is appropriate because it is set back and clearly differentiated from the original structure with a connector.



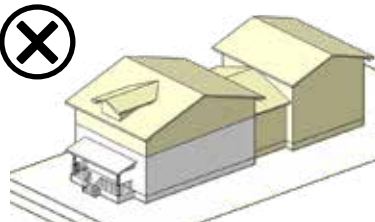
One-Story Addition to the Side

The addition illustrated at right is appropriate because it is set back and is clearly subordinate to the original structure.



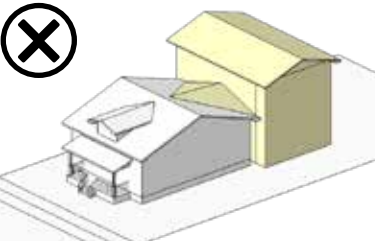
Inappropriate Two-Story Addition

The addition illustrated at right is inappropriate because it substantially alters the primary façade of the historic structure.



Inappropriate Two-Story Addition

The addition illustrated at right is inappropriate because it does not have a connector.





NEW BUILDINGS ON HISTORIC SITES

Design Intent:

In some cases, a separate new building may be constructed on a site that presently has a historic building. This may occur in areas where zoning permits and where incentives for preservation encourage adding more structures to the site. When this occurs, it is important that the new building(s) be compatible with the historic character of the existing building and site. Considerations for compatibility include the location of the new building, its mass and scale, form and materials, and how it transitions to the historic building.



There may be some cases where some existing residential buildings will be on a site where more density is targeted. The goal is to preserve the historic building in place. If this isn't feasible, then relocate it on site. Finally, it may be moved to a receiving site.



Locate a new building to the side or rear of the historic structure (shown in peach), such that the historic structure remains visible as the original, primary structure.

Design Guidelines:

1.70 Locate a new building to be compatible with the historic building.

- Locate a new building to the side or rear of a primary historic building, such that the historic building remains visible from the street.
- Separate the new building from the historic structure a sufficient distance such that the character of the original remains highly visible. The larger the new building is, the greater the separation should be.
- A secondary historic building is often located along the alley and could be the only contributing building on the property. In this case, a new building may be located in front of it and oriented to the street.

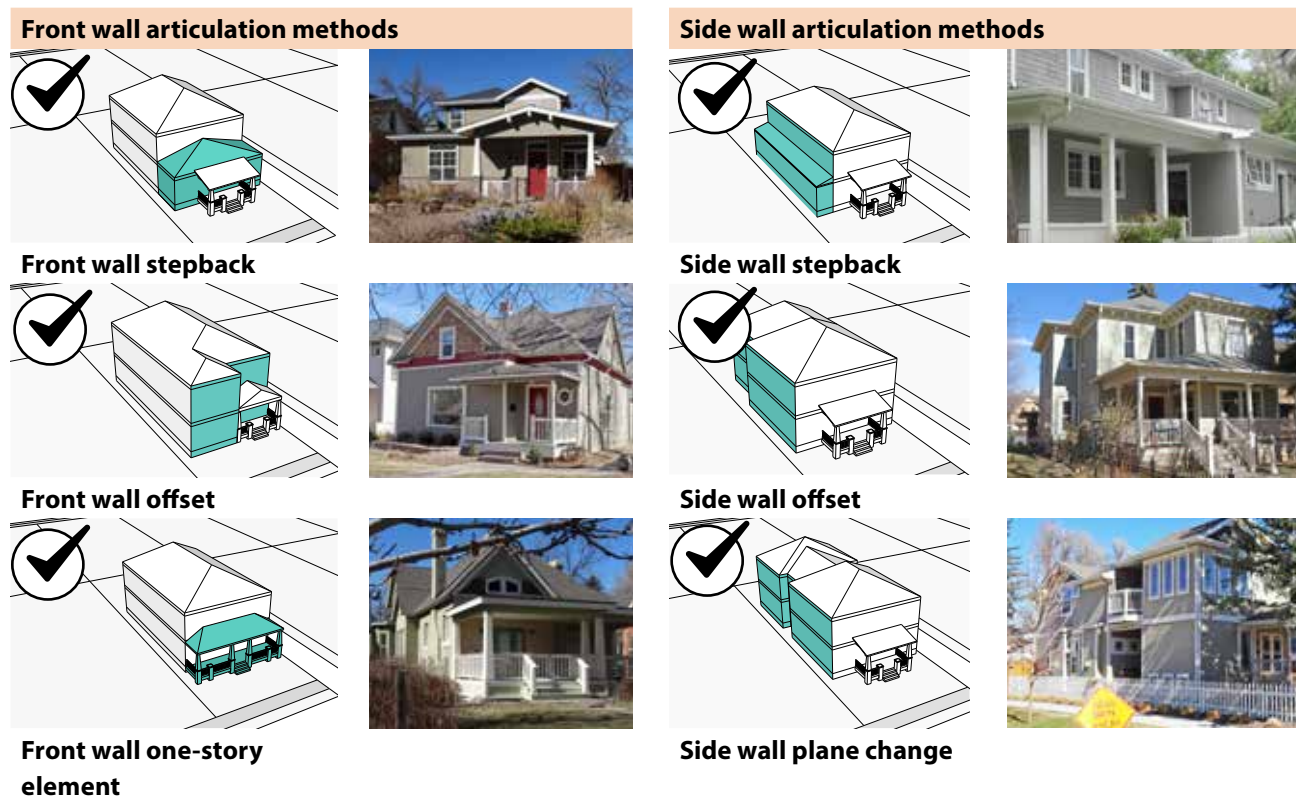
1.71 Design a new building to be compatible in mass and scale with the historic structure.

- Keep the size less than the historic structure when feasible.
- For a larger structure, divide it into modules that are in scale with the historic building.

1.72 Use a building form that is compatible with the historic structure.

- A simple rectilinear form is preferred.
- Avoid exotic forms that would detract from the historic resource.

The following models illustrate some ways a building mass can be articulated to reduce the perceived mass and to relate to the scale of an adjacent historic residential building on the site.



1.73 Use building materials that are compatible with the historic structure.

- a. Natural materials, including wood siding and stone are appropriate.
- b. Alternative materials that have a proven durability also may be considered. See page 39.
- c. These should have a matte, muted finish.

1.74 Mitigate negative scale-related visual impacts to a historic building.

- a. Effective treatments include:
 - » Scale transitions (front wall or side wall step backs, or overall height reductions)
 - » Increased setbacks (front, rear or side)



Generally, creating an accessibility solution that is independent from the historic building and does not alter its historic characteristics is an appropriate approach to installing a ramp.

ACCESSIBILITY

Design Intent:

Owners of historic properties should comply to the fullest extent possible with the Americans with Disabilities Act and other accessibility laws, while also preserving the integrity of the character-defining features of their buildings and sites. Special provisions for historic buildings exist in the law that allow some alternatives in meeting the ADA standards.

Design Guideline:

1.75 Generally, creating an accessibility solution that is independent from the historic building and does not alter its historic characteristics is encouraged.

- a. Identify the historic building's character-defining spaces, features and finishes so that accessibility code-required work will not result in their damage or loss.
- b. Alterations to historic properties that are designed to improve access for persons with disabilities should create minimal negative effect on the historic character or materials.
- c. Provide barrier-free access that promotes independence for the disabled to the highest degree practicable, while preserving significant historic features.
- d. Minimize impacts to a historic building; a design that is reversible is preferred.

For More Information:

Preservation Brief 32 Making Historic Properties Accessible

<https://www.nps.gov/tps/how-to-preserve/briefs/32-accessibility.htm>

REPOSITIONING A HISTORIC STRUCTURE WITHIN ITS PARCEL

Design Intent:

Preserving a historic building in its original location and on its historic foundation is preferred, because this helps to retain the integrity of the resource. However, in some cases, it may be appropriate to reposition a historic building on its site. (This does not involve removing it entirely from the parcel.) In either case, it is important in an arrangement that the historic building is in keeping with its historic site condition.

Some reasons that justify moving the building within the site include:

- The building is historic, but research shows that it has been relocated and therefore possesses no integrity of location.
- The historic building in question intrudes on public right-of-way.
- Shifting the historic building forward (if it is the main structure on the site) in order to accommodate compatible new construction to the rear of the property.

Design Guideline:

1.76 A historic structure may be repositioned on its site if doing so will help assure its preservation.

- a. If an historic structure must be repositioned, do so in a way that maintains the general character as seen from the street.
 - » The front façade should continue to face the street.
 - » The building should be oriented in a similar direction.
 - » The front setback should remain with a range seen traditionally in the neighborhood.
- b. Assure the building is stabilized from further deterioration.
 - » The historic building and its features are protected. A clear sequence of steps must be described for how the building's materials or elements will be protected, including any appendages or elements that will be removed, labeled and stored for re-assembly at the receiving site.
- c. The town must have a strong assurance that the rehabilitation project will be followed through to completion and meets best historic preservation practices.
 - » Proof of secure project financing may be required.
 - » New replacement materials should be kept to a minimum in the rehabilitation process.
 - » The proposed design for the building and its site will be reviewed using the design guidelines for rehabilitation found in this document.
- d. Assure the historic building will have a viable use in the development of the site that will assure its continued maintenance after the approved rehabilitation work is completed.

RELOCATION OF A HISTORIC BUILDING TO ANOTHER SITE

Design Intent:

In some cases, a historic building may be considered for relocation to a different parcel. The new parcel would be an appropriate setting for the building. In most cases, the building should be moved intact. In some situations, however, moving the entire building intact may not be feasible, and it may become necessary to move portions of the structure separately, and then re-assemble it on the new site. This process is not the same as demolition. The process of disassembly and reconstruction is designed to relocate the building and reinstate it in a condition as close to the original as is feasible. It requires special care to assure that disassembled materials are properly managed during transit and reassembly.

Some reasons that justify moving the building off the site include:

- The building is historic, but research shows that it has been relocated and therefore possesses no integrity of location.
- The building in question intrudes on public right-of-way.
- The building in question impacts the feasibility of the new project.

Design guideline:

1.77 A historic structure may be relocated off site if doing so will help assure its preservation and it meets the following criteria:

- a. The original building and site condition should be accurately recorded before removing the structure from its existing site.
- b. The historic building and its features are protected. A clear sequence of steps must be described for how the building's materials or elements will be protected, including any appendages or elements that will be removed, labeled and stored for re-assembly at the receiving site.
- c. The relocation site provides an appropriate context for the building. The new site should convey a character similar to that of the historic site, in terms of scale of neighboring buildings, materials, site relationships and age. The building should be located on the site in an orientation similar to the original setting.
- d. There is a commitment to complete the relocation and subsequent rehabilitation of the building.
- e. The town must have a strong assurance that the rehabilitation project will be followed through to completion and meets best historic preservation practices.
 - » Proof of secure project financing may be required.
 - » New replacement materials will be kept to a minimum in the rehabilitation process.
 - » The proposed design for the building and its site will be reviewed using the design guidelines for rehabilitation found in this document.
- f. Assure the historic building will have a viable use in the development of the site that will assure its continued maintenance after the approved rehabilitation work is completed.

SECTION VI.

Glossary of Terms of Appendix B to the Town of Jackson Land Development Regulations are hereby added to read as set forth on the following pages:

GLOSSARY OF TERMS

Alignment. The arrangement of objects along a straight line.

Alteration. Any act or process, except repair and light construction that changes one or more of the architectural features of a structure or site, including, but not limited to, the erection, construction, reconstruction, relocation of, or addition to a structure.

Appropriate. Suitable for a particular condition, occasion, or place, compatible, fitting.

Awning. An architectural projection, which provides weather protection, identity, or decoration, and is supported by the building to which it is attached. It is composed of a lightweight rigid or retractable skeleton structure over which another cover is attached that may be of fabric or other materials. Awnings are typically sloped.

Bracket. A supporting member for a projecting element or shelf, sometimes in the shape of an inverted L and sometimes as a solid piece or a triangular truss.

Building. A resource created principally to shelter any form of human activity, such as a house.

Canopy. A projecting, rigid structure with a roof generally suspended with tie rods, or cantilevered with some sort of support system.

Certificate of Appropriateness. Certificate issued by the Community Development Director authorizing any proposed repair, restoration, alteration, construction, relocation, or demolition of a historic property pursuant to this ordinance.

Character-defining feature. Architectural elements and stylistic details that contribute to the distinctive nature of a building or structure.

Compatible. Consistent or harmonious with location, design, setting, materials, workmanship, feeling, or association or an individual building, structure, object or site, or of surrounding properties

Cornice. A decorative band at the top of the building.

Covered boardwalk. A projecting, rigid structure with a roof that is supported by columns.

Deconstruction. The process of dismantling a building such that the individual material components and architectural details remain intact. This may be employed when a building is relocated or when the materials are to be reused in other building projects. Deconstruction may be a more environmentally responsible alternative to conventional demolition; however, it is an inappropriate treatment for a building of historic significance.

Design. The combination of elements that create the form, plan, space, structure and style of a property

Deteriorate. To diminish or impair in quality, character, function or value; also to fall into decay or ruin.

Design guideline. A criterion with which the Design Review Commission and/or Community Development Director will require compliance when it is found applicable to the specific proposal. A guideline is subject to some interpretation when determining compliance.

Display window. The main portion of glass on a building front or within a storefront, where goods and services are displayed.

Door frame. The part of a door opening to which a door is hinged. A door frame consists of two vertical members called jambs and a horizontal top member called a lintel.

Double-hung window. A window with two sashes (the framework in which window panes are set), each movable by a means of cords and weights.

Façade. Front or principal face of a building; any side of a building that faces a street or other significant public open space.

Fascia. A flat board with a vertical face that forms the trim along the edge of a flat roof, or along the horizontal, or “eaves,” sides of a pitched roof. The rain gutter is often mounted on it.

Form. The overall shape of a structure (i.e., most structures are rectangular in form).

Frame. A window component. See window parts.

Head. The top horizontal member over a door or window opening.

Historic property. A district, site, building, structure or object significant in American history, architecture, engineering, archaeology or culture at the national, State or local level.

Designated Historic Resource. A property, structure, feature, object or district that is determined to be of historic significance and is designated to the Town’s Historic Register pursuant to this ordinance.

Integrity: *The ability of a property to convey its historic significance through its physical features.*

Intact historic property. These properties are those that are well preserved, or that have been restored to their historic character. Some retain original cornices, windows and storefronts. Others have had some of these features reconstructed to match or appear similar to original features. They have the highest degree of integrity. In some cases, minor alterations may still exist that slightly detract from the historic character and could be addressed in future rehabilitation work.

Kickplate. Found beneath the display windows on a storefront.

Lintel. A horizontal structural member that supports a load over an opening; usually made of wood, stone or steel; may be exposed or obscured by wall covering.

Maintenance. The work of keeping something in proper condition, upkeep. Activities required or undertaken to conserve as nearly, and as long as possible the original condition of an asset or resource while compensating for normal wear and tear. The needed replacement of materials is done in-kind.

Mass/Massing. The physical size and bulk of a structure. A building's massing is derived from the articulation of its façade through the use of dormers, towers, bays, porches, steps and other projections. These projections significantly contribute to the character of the building and, in town, the character of a street.

Masonry. Construction materials, typically bound together by mortar, such as stone, brick, concrete block or tile.

Material. As related to the determination of "integrity" of a property, material refers to the physical elements that were combined or deposited in a particular pattern or configuration to form a historic property.

Module. The appearance of a single façade plane, despite being part of a larger building. One large building can incorporate several building modules.

Molding. A decorative band or strip of material with a constant profile or section. It is generally used in cornices and as trim around window and door openings.

Muntin. A bar member supporting and separating panes of glass in a window or door.

Orientation. Generally, orientation refers to the manner in which a building relates to the street. The entrance to the building plays a large role in the orientation of a building; whereas, it should face the street.

Original. Belonging or pertaining to the origin or beginning of something, or to a thing at its beginning.

Parapet. A low protective wall or railing or wall-like barrier along the edge of a raised structure such as a roof, bridge, terrace or balcony. Where extending above a roof, it may simply be the portion of an exterior wall that continues above the line of the roof surface, or may be a continuation of a vertical feature beneath the roof such as a fire wall or party wall.

Pilasters. A rectangular column or shallow pier attached to a wall; quite frequently decoratively treated so as to repeat a classical column with a base, shaft and capital.

Preservation. The act or process of applying measures necessary to sustain the existing form, integrity and materials of a historic building, site, structure or object. Work may include preliminary measures to protect and stabilize the property, but generally focuses on the ongoing preservation, maintenance and repair of historic materials and character-defining features rather than extensive replacement and new work.

Source: *Secretary of the Interior National Park Service.*

Property. A building, structure, site or object.

Reconstruction. The act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific period of time and in its historic location. Source: *Secretary of the Interior National Park Service.*

Rehabilitated historic property. These are properties that have had improvement work in which some key features have been preserved, and also may have some alterations that are distinguishable as new, but are compatible with the historic character. In many of these cases, upper portions of the storefronts retain historic features, including cornices, decorative moldings and upper story windows. Many have new storefronts that do not replicate historic details but are generally compatible as “contemporary interpretations” of traditional storefronts. A few alterations may still exist that slightly detract from the historic character and could be addressed in future rehabilitation work.

Rehabilitation. The process of returning a property to a state that makes a contemporary use possible while still preserving those portions or features of the property which are significant to its historical, architectural and cultural values. Source: *Secretary of the Interior National Park Service.*

Rehabilitation may include a change in use of the building or additions. This term is the broadest of the appropriate treatments and is often used in the standards with the understanding that it may also involve other appropriate treatments.

Remodeling. The process of changing the historic design of a building. The appearance is altered by removing original details and by adding new features that are out of character with the original design. Remodeling of a historic structure is inappropriate.

Restoration. The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular time period. It may require the removal of features from outside the restoration period. Source: *Secretary of the Interior National Park Service*.

Rhythm. The spacing and repetition of building façade elements, such as windows, doors, belt courses and the like, give an elevation its rhythm. The space between freestanding buildings in towns, as well as the height of roofs, cornices, towers and other roof projections establishes the rhythm of a street.

Scale. (a.) The perceived size of a building relative to the size of its elements and to the size of elements in neighboring buildings. The overall shape and massing of buildings is significant to defining character. In order to retain the character of a community, maintaining a balance between landscaping and building scale in relation to space available is essential. A building built to the legal limits established for height, building scale and setbacks may result in a building which is not compatible with the character of its neighborhood. (b.) An indication of the relationship between the distances or measurements on a map or drawing and the corresponding actual distances or measurements.

Setting. The physical environment of a historic property

Should. "Should" indicates that compliance is expected, except in conditions in which the Design Review Committee and/or city staff finds that the standard is not applicable, or that an alternative means of meeting the intent of the standard is acceptable.

Side light. A usually long fixed sash located beside a door or window; often found in pairs.

Significant. Having architectural characteristics and historical associations that make the building, structure, feature or area worthy of preservation.

Sill. The lowest horizontal member in a frame or opening for a window or door. Also, the lowest horizontal member in a framed wall or partition.

Simulated divided light window. A large piece of insulated glass with interior and exterior grilles attached by tape.

Stile. A vertical piece in a panel or frame, as of a door or window.

Substantially altered historic property. These are properties that retain some original features but are missing a substantial amount of other features. They also have later alterations that detract from the historic character. More recent storefronts that are out of proportion from the original, or that have materials that are out of character are examples. Cornices may be missing and upper story windows may be altered as well. These later alterations detract from the historic character and could be addressed in future rehabilitation work. Reconstruction of missing features, or addition of new, compatible interpretations should be high priorities for these properties.

Transom window. A small window or series of panes above a door, storefront, or above a casement or double hung window.

True divided light window. A window made up of several pieces of glass puttied into frames.

Upper-story windows: Windows located above the street level, often with a vertical orientation.

Visual continuity. A sense of unity or belonging together that elements of the built environment exhibit because of similarities among them.

Workmanship. The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory

SECTION VII.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VIII.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION IX.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____

Hailey Morton Levinson, Mayor

ATTEST:

BY: _____

Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. ____ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2024.

I further certify that the foregoing Ordinance was duly recorded on page _____ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

STAFF REPORT



Meeting Date:	November 4, 2024	Meeting Title:	Town Council Portion of JIM Meeting
Submitting Department:	Planning Department	Presenter:	Katelyn Page
Agenda Item:	Second Reading Ordinance A to Introduce Exemptions to Affordable Workforce Housing Mitigation Requirement in the LDRs	Public Comment:	Yes

Purpose & Policy Considerations.

To approve at Second Reading Ordinance A to update the Town of Jackson's Land Development Regulations (LDRs) regarding exemptions to affordable workforce housing mitigation requirements.

Requested Action.

Request to approve at Second Reading Ordinance A which would modify the Town of Jackson's LDRs regarding findings of approval. Ordinance A would modify the following sections of the LDRs:

- 6.3.2.A.1 – Affordable Workforce Housing Standards (Existence of Employee Generating Development)
- 6.3.2.C – Affordable Workforce Housing Standards (Exemptions)
- 6.3.3.A.4 – Amount of Affordable Workforce Housing Required (Change of Use)

Recommendation.

The Planning Director recommends Council approve at Second Reading proposed Ordinance A as presented in this staff report.

Background.

Council approved LDR Text Amendment P24-094 at the October 21, 2024, Regular Council meeting. Later that evening Council also approved corresponding Ordinance A at First Reading.

Public Comment.

No public comment has been received by staff at the time of this report.

Staff Findings.

Pursuant to Section 8.7.2 of the Town of Jackson LDRs, the advisability of amending the text of these LDRs is a matter committed to the legislative discretion of the Town Council and is not controlled by any one factor. In deciding to adopt, modify, or deny a proposed LDR Text Amendment the Town Council shall consider factors including, but not limited to, the extent to which the proposed amendment:

1. Is consistent with the purposes and organization of the LDRs;

Complies. The purposes of the LDRs per Division 1.3 are generally to implement the Comprehensive Plan and to promote the health, safety, and general welfare of the present and future inhabitants of the community. The proposed amendments directly support Comprehensive Plan Policies 3.3.b (Provide predictability in land use decisions), 4.1.c (Promote compatible infill and redevelopment that fits

Jackson's neighborhoods), 4.3.a (Preserve and enhance stable subareas), 5.1.a (House at least 65% of the workforce locally), and 5.2.c (Provide workforce housing solutions locally). Staff finds the proposed amendment improves the ability of the LDRs to support the above policies.

2. *Improves the consistency of the LDRs with other provisions of the LDRs;*

Complies. There are no inconsistencies of the LDRs regarding housing mitigation requirements that the proposed amendment needs to improve. Rather, the introduction of the two exemptions create consistency with other exemptions to required housing mitigation (e.g., daycare or early childhood education use) currently available that are intended to support certain desirable uses, businesses, and residents within the Town.

3. *Provides flexibility for landowners within standards that clearly define desired character;*

Complies. The proposed amendment increases such flexibility for property owners and tenants by simplifying change of use and small residential addition mitigation requirements and providing predictability in land use decisions in currently defined character zones in the Town of Jackson.

4. *Is necessary to address changing conditions, public necessity, and/or state or federal legislation;*

Complies. The amendment responds to increased cost of construction for residential uses property owners and local workforce by creating an exemption for small additions. It also responds to the reality that tenants, rather than property owners, typically bear the cost of commercial changes of use within the Town of Jackson and that increasing commercial rents and construction costs have further impacted businesses, especially small businesses.

5. *Is consistent with other adopted Town Ordinances.*

Complies. The proposed amendment does not conflict with any other Town Ordinances.

Fiscal Impact.

Staff estimates the proposed amendment will have a fiscal impact of approximately \$23,000-\$60,000 per year. However, staff notes this amount will fluctuate as it is dependent on the amount and scope of building permits issued by the Town of Jackson in any given year.

Staff Impact.

The amount of staff time to research and draft this ordinance is approximately 5 hours.

Attachments or Links.

Ordinance A Redline

Ordinance A Blackline

Suggested Motions.

I move to approve Ordinance A on Second Reading.

ORDINANCE A

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTIONS 6.3.2, APPLICABILITY, AND 6.3.3, AMOUNT OF AFFORDABLE WORKFORCE HOUSING REQUIRED, OF DIVISION 6.3, AFFORDABLE WORKFORCE HOUSING STANDARDS.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Sections 6.3.2, Applicability, and 6.3.3, Amount Of Affordable Workforce Housing Required, of Division 6.3, Affordable Workforce Housing Standards, of the Land Development Regulations of the Town Jackson, Wyoming, are hereby amended to read as follows:

6.3.2. Applicability.

A. **Employee Generating Development.** Employee generating development is a new building or use not currently in existence, as further defined below.

1. **Existence.** For the purpose of this standard existence shall mean a building or use existing on December 18, 1995, or the building or use legally established since that date with the highest affordable workforce housing requirement. *A use established after December 18, 1995, that is exempt under Section 6.3.2 from housing mitigation requirements shall not be considered to be in existence.* The burden of identifying the existing building or use shall be the responsibility of the landowner. The landowner shall provide the Planning Director photos, permits, licenses, records, or other documentation that establishes the existing building or use.

***EXAMPLE:** On December 18, 1995 the use of a property was a restaurant/bar. In 2000 the use of the property changed to retail. In 2010 the use of the property changed to office. The existing use for the purpose of this standard is restaurant/bar because restaurant/bar use has the highest affordable workforce housing requirement of the legal uses since December 18, 1995.*

***EXAMPLE:** An office space built as permitted in 2004 is considered existing for the purpose of this standard, regardless of the employee mitigation provided in 2004.*

***EXAMPLE:** On December 18, 1995, the use of a property was retail. Subsequently, the use of the property changed to restaurant/bar but was exempt at the time from an affordable workforce housing requirement for the change of use. The highest affordable workforce housing requirement provided remains as retail use because no mitigation fee was required for the change of use to restaurant/bar.*

...

B. ...

C. Exemptions. ...

...

7. ~~Reserved.~~ **Nonresidential Changes of Use.** Changes of use between all nonresidential uses that occur two (2) or more years after the existing building received initial Certificate of Occupancy.
8. **Small Residential Additions.** A one-time addition of up to 500 sf of habitable floor area to existing dwelling units that have 2,500 sf or less of habitable floor area. Further additions are required to comply with the requirements of this Division.

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~~14.~~ 15. . . .

(Ord. ____ § ___, 2024; Ord. 1275 § I, 2021; Ord. 1313 § I, 2022; Ord. 1348 § XIV, 2023)

6.3.3. Amount of Affordable Workforce Housing Required.

A. . . .

4. **Change of Use.** In the case of a change of use from a residential use to a nonresidential use, or between all nonresidential uses in buildings for which the initial Certificate of Occupancy was issued within the past 2 years, the amount of affordable workforce housing required shall be the difference between the requirement for the proposed use and the requirement for the existing use (6.3.2.A.1). Where a change in use includes additional square feet, the additional square feet shall be mitigated at the mitigation rate for the proposed use.

EXAMPLE: A proposal to use a 2,000-sf retail space as an office would be required to include 0.062 affordable workforce housing units ($0.000247 \times 2,000 - 0.000247 \times 2,000 = 0.062$).

EXAMPLE 1: A 2,000 sf amusement space was built in 2020. In 2021, only one year after the Certificate of Occupancy was issued, a proposal to use the 2,000 sf amusement space as a restaurant would be required to include 0.766 affordable workforce housing units ($0.000599 \times 2000 - 0.000216 \times 2000 = 0.766$)

EXAMPLE 2: A 2,000 sf amusement space was built in 2020. In 2023, three years after the Certificate of Occupancy was issued, a proposal to use the 2,000 sf amusement space as a restaurant and to add 1,000 sf of space is submitted. No mitigation is required for the change of use from amusement to restaurant because CO was issued over 2 years ago. For the 1,000 sf addition of space to use as a restaurant, 0.599 affordable workforce housing units ($0.000599 \times 1000 = 0.599$)

. . .

(Ord. ____ § ___, 2024; Ord. 1270 § 1, 2020; Ord. 1313 § 1, 2022; Ord. No. 1364, § 1, 2024)

SECTION III.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VI.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION V.

This Ordinance shall become effective after its passage, approval, and publication.

PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____

Hailey Morton Levinson, Mayor

ATTEST:

BY: _____

Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

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Riley Taylor, Town Clerk

ORDINANCE A

AN ORDINANCE PURSUANT TO 8.7.2 OF THE LAND DEVELOPMENT REGULATIONS, AMENDING SECTIONS 6.3.2, APPLICABILITY, AND 6.3.3, AMOUNT OF AFFORDABLE WORKFORCE HOUSING REQUIRED, OF DIVISION 6.3, AFFORDABLE WORKFORCE HOUSING STANDARDS.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

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6.3.2. Applicability.

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...

B. ...

C. Exemptions. ...

...

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A. . . .

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***EXAMPLE 1:** A 2,000 sf amusement space was built in 2020. In 2021, only one year after the Certificate of Occupancy was issued, a proposal to use the 2,000 sf amusement space as a restaurant would be required to include 0.766 affordable workforce housing units ($0.000599 \times 2000 - 0.000216 \times 2000 = 0.766$)*

***EXAMPLE 2:** A 2,000 sf amusement space was built in 2020. In 2023, three years after the Certificate of Occupancy was issued, a proposal to use the 2,000 sf amusement space as a restaurant and to add 1,000 sf of space is submitted. No mitigation is required for the change of use from amusement to restaurant because CO was issued over 2 years ago. For the 1,000 sf addition of space to use as a restaurant, 0.599 affordable workforce housing units ($0.000599 \times 1000 = 0.599$)*

. . .

(Ord. ____ § ___, 2024; Ord. 1270 § 1, 2020; Ord. 1313 § 1, 2022; Ord. No. 1364, § 1, 2024)

SECTION III.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VI.

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION V.

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PASSED 1ST READING THE _____ DAY OF _____, 2024.

PASSED 2ND READING THE _____ DAY OF _____, 2024.

PASSED AND APPROVED THE _____ DAY OF _____, 2024.

TOWN OF JACKSON

BY: _____

Hailey Morton Levinson, Mayor

ATTEST:

BY: _____

Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the _____ day of _____, 2024.

I further certify that the foregoing Ordinance was duly recorded on page ___ of Book _____ of Ordinances of the Town of Jackson, Wyoming.

Riley Taylor, Town Clerk

STAFF REPORT



Meeting Date:	November 4, 2024	Meeting Title:	Regular
Submitting Department:	Legal	Presenter:	Lea Colasuonno
Agenda Item:	Update to Title 12, Streets and Other Public Places, for Pathway Speed Limits	Public Comment:	Yes

Purpose & Policy Considerations.

The purpose of this item is for Council to consider second reading of an update to Title 12, Streets and Other Public Places, for pathway speed limits.

Requested Action.

Staff requests Council consider executing second reading of the ordinance.

Recommendations.

Staff recommends Council complete second reading of the ordinance.

Background.

Currently, Section 12.32.030 consists of two sections, A and B and staff brought it to the Legal Department's attention of an interpretation issue and the Legal Department drafted the attached Ordinance B to provide clarity. In sum, this item is a request to address a Code "clean up" that will support staff – specifically the Police and Municipal Judge's Office – to ensure they are confident in processing pathway citations.

Analysis & Key Policy Questions.

Key policy questions were addressed at the October 21, 2024 meeting.

Possible Alternatives.

Council could elect not to execute second reading of the ordinance.

Comprehensive Plan & Priority Alignment.

Section 8.1 and 8.2: Timely, efficiently, and safely deliver quality services and facilities in a fiscally responsible and coordinated manner.

Fiscal Impact.

The Town of Jackson contracts with the company MuniCode to host the Jackson Municipal Code and process changes enacted by Council. The supplement service to codify new ordinances costs \$3,000 annually and does not fluctuate with the number of ordinances enacted by Council, thus the fiscal impact of this ordinance (and all) codification is minimal.

The Town is, pursuant to statute, required to publish ordinances in a newspaper of general circulation in the community (which is the News & Guide weekly). The cost of publication varies, depending on ordinance length, and is a minimum of \$200 for short ordinances.

Attachments or Links.

Ordinance B

Suggested Motion.

I move to approve Ordinance B on second reading.

ORDINANCE B

AN ORDINANCE AMENDING SECTION 12.32.030, REGARDING PATHWAY SPEED LIMITS, OF CHAPTER 12.32, PATHWAYS, OF TITLE 12, STREETS AND OTHER PUBLIC PLACES, OF THE CODE OF THE TOWN OF JACKSON, WYOMING.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF JACKSON, WYOMING:

SECTION I.

Section 12.32.030(C), Speed Limits, of Chapter 12.32, Pathways, of Title 12, Streets and Other Public Places, of the Code of the Town of Jackson, Wyoming, is hereby created as set out in this ordinance.

12.32.030- Speed limits.

A. No person shall operate a device on a pathway at a greater speed than is reasonable and prudent under the conditions and having regard to the actual and potential hazards then existing.

B. Except when a special hazard exists that requires lower speed for compliance with subsection A above, the speed limit on the pathway shall be established by the Town and indicated and posted on appropriate signs.

C. Except when a special hazard exists that requires lower speed for compliance with subsection A above, no person shall operate a device on a pathway at a greater speed than the posted limit.

(Ord. _____, § 1, 2024; Ord. 1349, § 1, 2023; Ord. 1192, § 1, 2018).

SECTION III.

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SECTION VI.

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TOWN OF JACKSON

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Hailey Morton Levinson, Mayor

ATTEST:

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Riley Taylor, Town Clerk

ATTESTATION OF TOWN CLERK

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