

AGENDA
Design Review Committee
June 10, 2026 – REGULAR MEETING
5:30 PM

NOTICE: THE VIDEO AND AUDIO FOR THIS MEETING ARE STREAMED TO THE PUBLIC VIA THE INTERNET AND MOBILE DEVICES WITH VIEWS THAT ENCOMPASS ALL AREAS, PARTICIPANTS AND AUDIENCE MEMBERS

PLEASE SILENCE ALL ELECTRONIC DEVICES DURING THE MEETING

1. ZOOM LINK FOR PUBLIC PARTICIPATION
To join, [click link](https://us02web.zoom.us/j/82977188841?pwd=bhAnqb3P27XiiXMylibHaAgqhXm9G3.1) or copy it to your browser:
<https://us02web.zoom.us/j/82977188841?pwd=bhAnqb3P27XiiXMylibHaAgqhXm9G3.1>

Or join at zoom.com with Webinar ID: **829 7718 8841** and Password: **83001**
2. CALL TO ORDER
3. ROLL CALL
4. NEW BUSINESS
 - I. P25-183 180 S King Street Teton County Justice Center Materials Review
 - II. P26-095 110 S Willow Street Final Review
5. MATTERS FROM STAFF
6. ADJOURN

STAFF REPORT



Meeting Date:	June 10, 2026	Meeting Title:	Regular Design Review Committee Meeting
Applicant:	Berning Project Management and Wember Owner Representative	Presenter:	Tyler Valentine
Item:	Exterior material review for the Justice Center located at 180 S. King Street (P25-183)	Recommendation:	Final Design Review

Background.

On October 8, 2025, the Design Review Committee (DRC) reviewed and recommended approval of the Justice Center design as part of the Development Plan, which the Town Council later approved. The DRC recommended approval with the following condition:

1. The final faux wood material shall be brought back before the DRC and shall better match the lighter wood color and variation shown in the renderings.

Project Summary.

The applicant is seeking final DRC approval of the faux wood material. As proposed, the final material is Nichiha Vintagewood Cedar in an 18-inch-wide panel. Below is an image of the proposed material:



Nichiha Vintagewood Cedar

18" wide panel
2 Joints per panel

West Elevation Perspective

Vision Statement:

“The guiding vision for the Town of Jackson is to create a vibrant urban village to improve the quality of life and physical environment for both residents and visitors alike. The emphasis is on encouraging development that is economically, socially and ecologically sustainable. This concept includes a variety of land uses in the Town where citizens live and work. Future development should consider the regional vernacular of the Intermountain West while inspiring innovative design and creativity that emphasizes a positive pedestrian experience. This will become a reality when the entire community - including government, the private sector, social service groups and special interest groups - agree to positively impact the Town through cooperation, collaboration and partnership.”

General Design Guideline Principles:**A. Public Space****1. Use**

- Human Scale: trees, canopies, other building elements to break the perceived height of adjacent facades.
- Relationships: engage the interior of a building and relate it to the adjacent buildings' function and use.
- Details: lighting, signage benches, paving, planting, canopies, etc. should relate to overall function of the space.

2. Location

- Seasonal Adaptability: protected from full exposure to sun, snow, wind and rain where possible, oriented to take advantage of daylight.
- Transition between buildings and the adjacent streets and alleys.
- Entry: points of entry should be engaging to the pedestrian.

3. Connections

- Consider how the proposed development connects with the street and other development on the same block.
- Consider how the proposed development makes connections with the overall Town open space and pathways systems and Cache and Flat Creeks.

4. Scale & Variety

- Scale of open space should suit function of the development.
- Consider within context of increasing the variety of sizes, types and locations of open space throughout Town.

5. Screening

- Screening: whenever possible, landscaping or architectural elements are used to buffer the pedestrian from automobiles, utilities and parking lots.
- Edges: trees, architectural walls, benches, etc. are used to create edges for public space. Clearly define space without making it isolated or confined.

B. Composition

- Consider composition, proportion and rhythm of the materials, surfaces and massing of all building elevations to promote visual interest at the scale of both the automobile and the pedestrian.
- Use composition, proportion and rhythm of the materials, surfaces and massing to create a sense of entry and a sense of place.
- To the degree possible, utilize composition, proportion and rhythm to address adjacent buildings.

C. Massing

1. Mass & Height

- Human-scale, pedestrian orientation; height should not overwhelm people walking in vicinity.
- Canopies should be utilized over sidewalks or property lines to give buildings a human scale.

2. Additive & Subtractive Massing

- Additive Massing increases the size of the building by linking smaller, compatible elements in a way that allows them to remain visible as separate pieces after they are put together.
- Subtractive Massing reduces a large building by taking parts of it away in a logical manner.
- Sky plane techniques, balconies that partially step into the building and partially cantilever out away from the building face.
- Architectural features on the second story and above may protrude into the public ROW a maximum of five (5) feet.

3. Volume Complexity

- Volume Complexity is achieved by linking a series of smaller masses, resulting in a building that can be seen as a group of related structures rather than one large element.
- Avoid large monolithic buildings.
- Projects that contain multiple lots shall pay close attention to breaking up the vertical façade into a pattern typical of single lot development.

4. Roofs

- Parapet, flat, sloping or barrel vaults.
- Use parapet and flat roofs at the edges of sites to avoid safety problems associated with snow slides.
- Roof designed so that no snow or rain is deposited onto adjacent public or private walking surfaces.

D. Street Wall

1. Connected Network of Comfortable and Inviting Pedestrian Paths

- Project should generally be built to the property lines at the sides and along the street frontage. There should be no voids in the street wall except for the circumstances described below.

- It is appropriate to open up the street wall for a portion of the frontage as necessary to create areas of public open space, identify entrances and make pedestrian connections.
- At the corner, it is appropriate to step back the street wall to create comfortable pedestrian areas.
- Vehicle entrances to underground or rear parking areas may be acceptable but should be minimized to avoid conflicts with pedestrians.

E. Materials

1. Application of Materials:

- Consider which materials and their structural application are selected for vertical supporting elements (compressive), spanning over openings (tensile), or creating building planes such as walls (infilling) will lead to appropriate materials used in believable situations.

2. Materials Selection

- Consider impacts on surrounding buildings, natural environment and culture.



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

Name/Description: Teton County Justice Center
Physical Address: 150 E. Simpson Ave
Lot, Subdivision: Lot 2 and Lot 3, Block 5 PIDN: 22-41-16-34-2-07-003

PROPERTY OWNER.

Name: Teton County General Services - Mark Erwin - Director Phone: 307-732-8409
Mailing Address: P.O. Box 3594 | 185 S. Willow Street. ZIP: 83001
E-mail: merwin@tetoncountywy.gov

APPLICANT/AGENT.

Name: Berning Project Management / Wember, Owner Representative Phone: 307-699-3733
Mailing Address: PO Box 485 / Victor, ID 83455 ZIP: 83455
E-mail: berningpm@gmail.com

DESIGNATED PRIMARY CONTACT.

_____ Property Owner ☒ _____ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

_____ Basic Use
_____ Conditional Use
_____ Special Use

Relief from the LDRs

_____ Administrative Adjustment
_____ Variance
_____ Beneficial Use Determination
_____ Appeal of an Admin. Decision

Physical Development

_____ Sketch Plan
_____ Development Plan
☒ _____ Design Review

Subdivision/Development Option

_____ Subdivision Plat
_____ Boundary Adjustment (replat)
_____ Boundary Adjustment (no plat)
_____ Development Option Plan

Interpretations

_____ Formal Interpretation
_____ Zoning Compliance Verification

Amendments to the LDRs

_____ LDR Text Amendment
_____ Map Amendment

Miscellaneous

_____ Other: _____
_____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P24-125 Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: 8/13/25

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

N/A **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.

X **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at <http://www.townofjackson.com/DocumentCenter/View/845/LetterOfAuthorization-PDF>.

X **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Jason Berning

Digitally signed by Jason Berning
DN: cn=US, E=jberning@gmail.com, O=Berning Project Management, CN=Jason
Berning
Date: 2025.09.24 07:40:28-06'00'

Signature of Property Owner or Authorized Applicant/Agent

Jason Berning

Name Printed

5/22/26

Date

Owner's Representative

Title

Submittal Checklist for Design Review Committee (DRC)

Applicants for the DRC must fill out the below checklist and submit it with their DRC application. Applications without a completed checklist will not be accepted by the Town. A completed checklist means that all the required items are provided in the application or that a valid explanation is provided for any item that is not provided.

All DRC submittals must include the following required items:

(please check to indicate that each item has been addressed)

- | | | | |
|-------------------------------------|--|-------------------------------------|--|
| ☐ | New Submittal | ☒ | Resubmittal (provide list of all changes & previous elevations) |
| ☒ | Application: Signed application and notarized Letter of Authorization. | | |
| ☒ | Narrative: A clear narrative summarizing the proposed project and intended architectural goals, including how the project meets the Vision Statement and each applicable design guideline (Public Spaces, Composition, Massing, and Materials). | | |
| ☒ | Elevations: Elevations and dimensions of all proposed building facades, including colored renderings. Renderings from 3-dimensional computer models shall be provided if available. | | |
| ☒ | Zoning Compliance: Demonstration of compliance with zoning dimensional requirements, such as height, setbacks, FAR, LSR, etc. A summary table should be provided in addition to showing all dimensions of all relevant features in submitted plans. | | |
| ☒ | Site Plan: A site plan that shows proposed structures in the full context of the affected property. The site plan shall show the location and dimensions of all pedestrian connections, bike racks, benches, and similar public amenities. | | |
| ☒ | Landscape Plan: Must show all proposed landscape areas and the size and type of all proposed vegetation. | | |
| ☒ | Adjacent Context/Public Realm: Drawings that depict the scale or massing of adjacent buildings on the same block face and/or across the street (transverse and longitudinal street elevations). In addition, the application shall clearly state how the project relates to adjacent sidewalks and streetscape. | | |
| ☒ | Materials: A graphic depiction/materials palette of all major proposed exterior materials. The applicant shall also bring physical samples of materials to the Planner one week prior to the DRC meeting. | | |
| ☐ | OPTIONAL: Conceptual Approval: Applicant may apply for conceptual review by the DRC where feedback is provided but no final approval is sought or provided. In such cases, applicant should provide as much detail as possible on project. | | |
| ☐ | OPTIONAL: Massing Model: For larger buildings, a 3-dimensional massing model (scale of 1" = 20' is generally appropriate) that depicts the proposed development in the context of neighboring buildings may be required. Please inquire to staff. | | |

Provided with
Dev Plan
Approval

Provided with
Dev Plan
Approval

Provided with
Dev Plan
Approval

Provided with
Dev Plan
Approval

Provided with
Dev Plan
Approval



Town of Jackson
 150 E Pearl Avenue
 PO Box 1687, Jackson, WY 83001
 P: (307)733-3932 F: (307)739-0919
 www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION

NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: Jason Berning Title: Owners Representative

Being duly sworn, deposes and says that Teton County is the owner in fee of the premises located at: _____
Name of legal property owner as listed on deed

Address of Premises: 180 S King Street / Jackson, WY 83001

Legal Description: PT. LOT 2, BLK 5, CACHE-3 / LOT 1, SUNRISE ADDITION

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: Jason Berning / Berning Project Management

Mailing address of Applicant/agent: PO Box 485 / Victor, ID 83455

Email address of Applicant/agent: berningpm@gmail.com

Phone Number of Applicant/agent: 307-699-3733

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified is this(these) application(s) at the premises listed above:

- ☒ Development/Subdivision Plat Permit Application ☒ Building Permit Application
☒ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application
☒ Demolition Permit ☐ Home Occupation ☐ Other (describe) _____

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Jodie Pond

Property Owner Signature

BCC Administrator

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

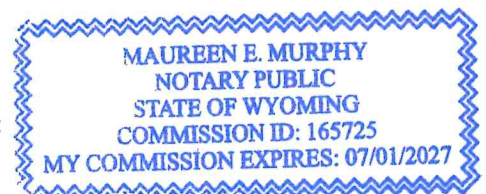
STATE OF Wyoming)
) SS.
 COUNTY OF Teton)

The foregoing instrument was acknowledged before me by Jodie Pond this 17th day of November, 2005. WITNESS my hand and official seal.

Notary Public

Maureen E. Murphy

My commission expires:



Teton County Justice Center

Town of Jackson - Design Review Committee

05.22.2026

Teton County Justice Center



Nichiha Vintagewood
Cedar

18” wide panel
2 Joints per panel

South Elevation Perspective

Teton County Justice Center

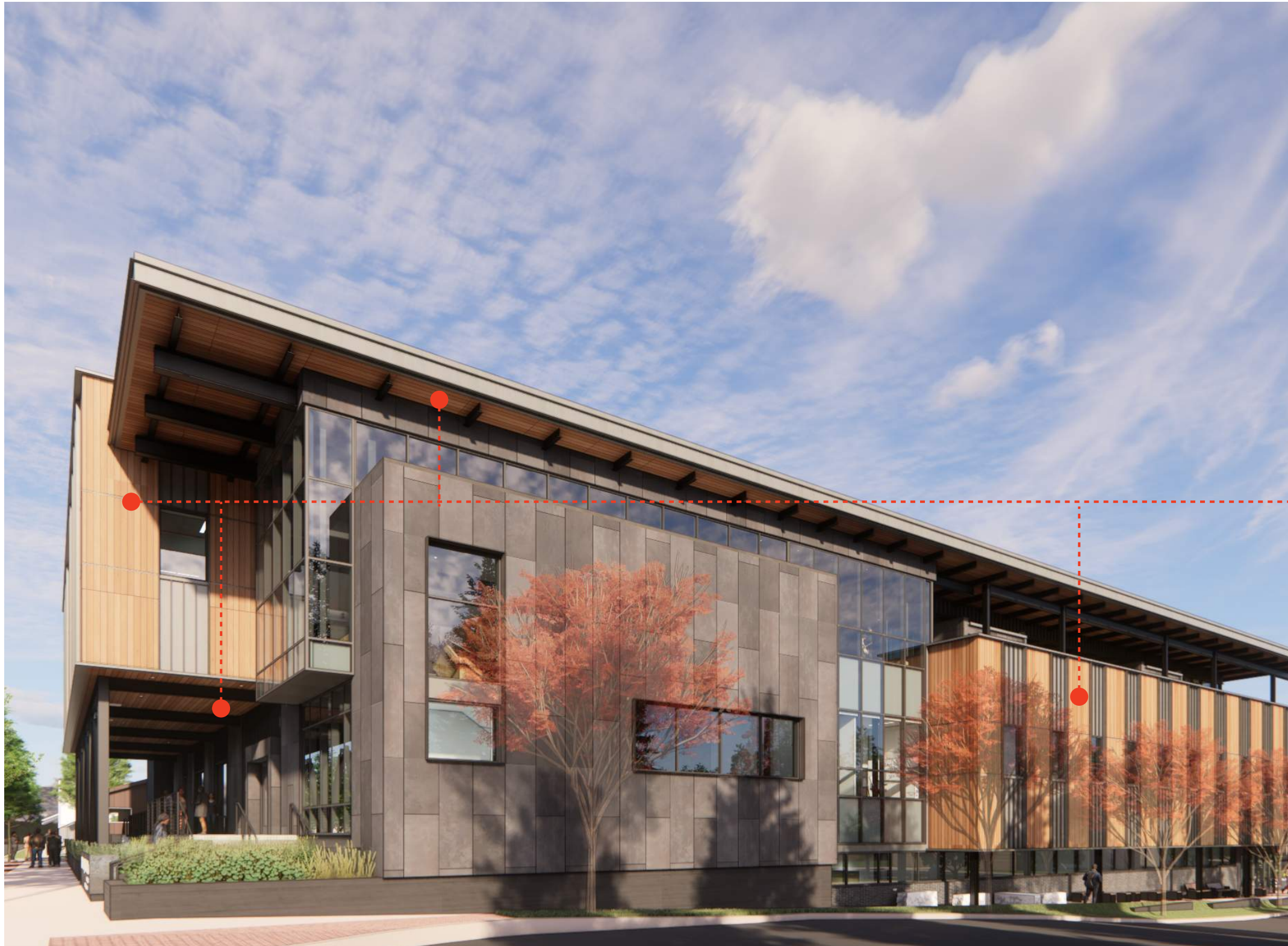


Nichiha Vintagewood
Cedar

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2 Joints per panel

West Elevation Perspective

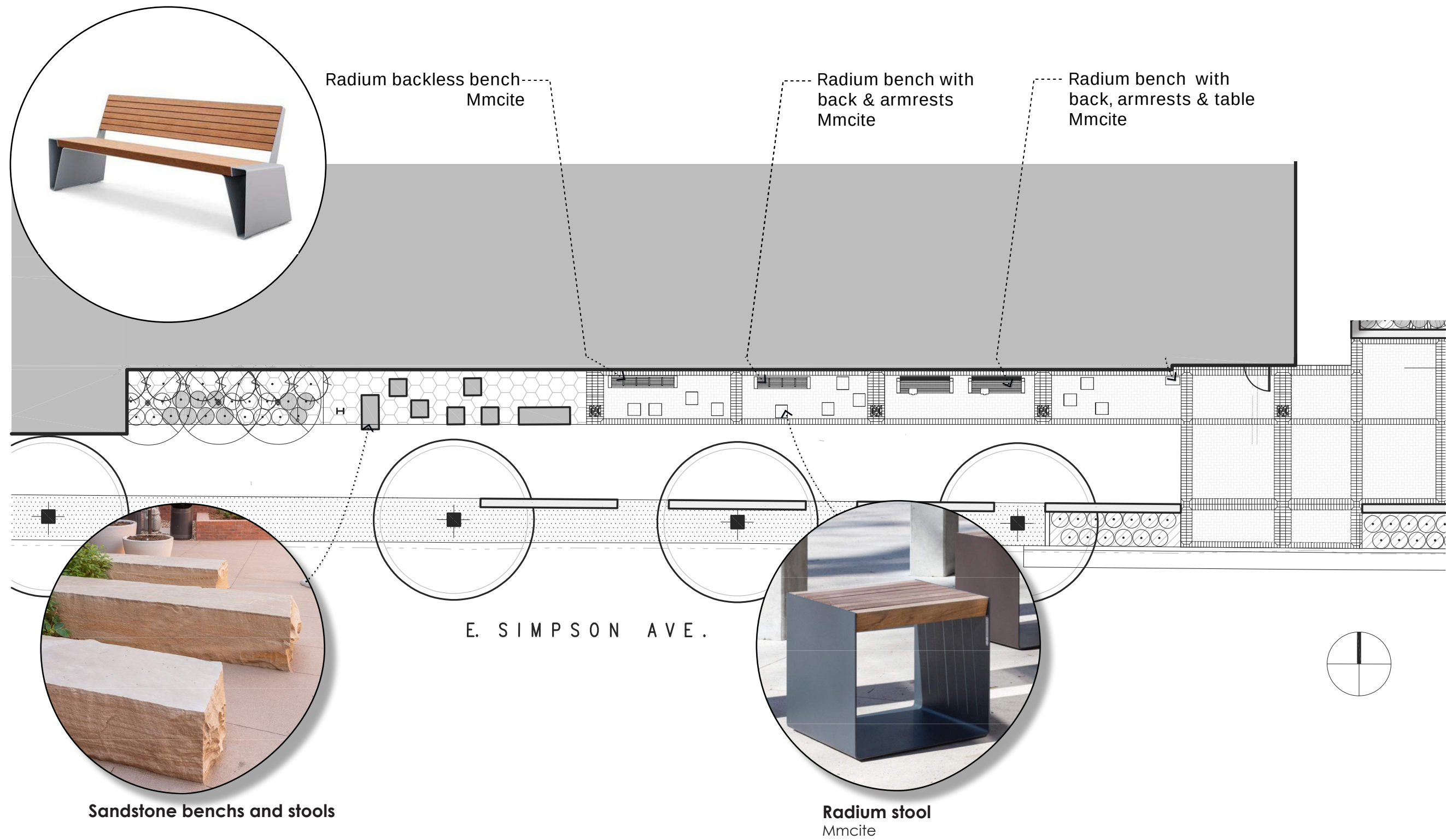
Teton County Justice Center



Nichiha Vintagewood
Cedar

18” wide panel
2 Joints per panel

Southwest Perspective



Simpson Ave. Exterior Furniture Study

STAFF REPORT



Meeting Date:	June 10, 2026	Meeting Title:	Regular Design Review Committee Meeting
Applicant:	KMW Architecture	Presenter:	Andrew Bowen
Agenda Item:	(P26-095) 110 S Willow Street Residential Fourplex	Public Comment:	No

Purpose and Policy Considerations

Design Review Committee (DRC) review is required for physical development of this scale within the OR zone.

Recommendation

The Applicant is requesting Final review from the DRC.

Project Summary

The property at 110 S. Willow Street is located within the Office Residential (OR) zone and Comprehensive Plan District 2.6 (Mixed Use Office & Residential). The property is located at the southeast corner of S. Willow Street and E. Pearl Avenue and includes alley access from the south. The proposed project consists of a new four-unit multi-family residential structure utilizing the 2:1 Workforce Housing Bonus, including two deed-restricted workforce housing units and two (2) unrestricted market-rate units. The existing residential structures on the property are proposed to be removed as part of the redevelopment.

The proposed structure includes two stories above grade with additional basement-level residential and accessory spaces. The project includes enclosed onsite parking accessed from the alley, bicycle parking, landscaping, and pedestrian-oriented design features along both street frontages. The Applicant states the project is intended to provide a contemporary residential development compatible with the surrounding neighborhood while contributing additional workforce housing opportunities within the community.

Additional information, including the application materials, project narrative, LDR compliance summary, renderings, lighting information, architectural elevations, and material palette, are included as attachments to this staff report.

Land Development Regulations (LDR) Compliance

Staff have conducted an initial, non-exhaustive review of LDR compliance. Key elements relevant to the DRC review, such as height, floor area ratio (FAR), setbacks, and landscaping, generally meet OR zone requirements.

Note: The proposed building design is contingent upon approval of an Administrative Adjustment related to the required structure setback. At the time of this report, no decision has been made regarding that request.

Public Space

The Applicant states the project is designed to engage the surrounding public realm through pedestrian-oriented design elements, including landscaping, balconies, glazing, defined entryways, and sidewalk improvements along East Pearl Avenue and South Willow Street. The Applicant further states that the structure is intended to provide an active street presence while balancing resident privacy. Parking is proposed within an enclosed garage accessed from the alley, which the Applicant notes will reduce visual impacts associated with vehicles. Utilities are proposed to be buried and trash storage is proposed within the west side yard and screened by an existing fence.

Composition

As stated by the Applicant, the proposed building incorporates a balanced architectural composition through the use of varied materials, articulated wall planes, stone circulation towers, and a coordinated window pattern intended to create visual rhythm. The building design emphasizes a contemporary mountain architectural character while remaining compatible with surrounding development patterns. Application materials indicate attention was given to the relationship between materials, proportions, and facade organization to reduce perceived bulk and create a cohesive overall design.

Massing

The project narrative notes that the project incorporates both additive and subtractive massing techniques to break down the overall scale of the structure and create visual variation along the facades. Application materials indicate the building includes balconies, recesses, material transitions, and varying wall planes intended to create a more pedestrian-scaled appearance. The Applicant states that the structure is designed to soften the transition between the surrounding residential and mixed-use development pattern, including nearby civic and commercial uses. The Applicant further states the proposal is intended to maintain an appropriate neighborhood scale while maximizing residential functionality on the site.

Street Wall

As noted by the Applicant, the structure generally establishes a street wall condition along East Pearl Avenue and South Willow Street. The proposal incorporates breaks for pedestrian circulation, landscaping, and vehicular access. The proposed design includes glazing, balconies, and entry features intended to provide visual interest and enhance the pedestrian experience along the adjacent streetscapes. The Applicant states the project seeks to balance transparency and street engagement with privacy considerations for residents.

Height

The proposed structure appears to comply with the OR zone maximum building height requirements. Application materials indicate the primary roof height is approximately 29 feet 6 inches, with an elevator and roof access component extending to approximately 31 feet 4 inches. According to the submitted materials, the overall scale and height of the structure are intended to remain compatible with the surrounding neighborhood context and transitional development pattern.

Materials

The proposed project incorporates a combination of vertical wood siding, matte metal siding, dry-stacked natural stone, black metal accents, and thermally broken steel windows intended to reflect a contemporary mountain architectural style compatible with the surrounding neighborhood. Application materials identify the use of dark gray aluminum siding, stained wood siding, black metal fascia elements, natural stone veneer, and matte-finished exterior materials to provide durability and visual variation. Submitted lighting information indicates the proposed exterior lighting fixtures are intended to comply with applicable Town lighting standards and complement the overall architectural design.

Vision Statement:

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2. Materials Selection

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DESIGN REVIEW COMMITTEE APPLICATION

Planning Department

150 E Pearl Ave.
P.O. Box 1687
Jackson, WY 83001

(307) 733-0440
www.jacksonwy.gov
planning@jacksonwy.gov

PROJECT

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

PROPERTY OWNER

Name: _____

Mailing Address: _____ ZIP: _____

E-mail: _____ Phone: _____

APPLICANT/REPRESENTATIVE

Name: _____

Mailing Address: _____ ZIP: _____

E-mail: _____ Phone: _____

DESIGNATED PRIMARY CONTACT

Property Owner

Applicant/Authorized Representative

TYPE OF APPLICATION

Initial Submittal

Resubmittal

Conceptual

SUBMITTAL REQUIREMENTS

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Notarized Letter of Authorization. A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the above-mentioned property during normal business hours, after making a

Katherine M. Wilson

Signature of Property Owner or Authorized Representative

Title

Name Printed

Date

Willow & Pearl: Design Review Committee Narrative

110 S Willow Street
LOT 1, BLK. 4, CACHE 1
Jackson, WY 83001
Parcel: 22-41-16-34-2-08-005
Size: 0.17 acres (7,500 square feet)

Owners: Wind River Partners LLC, PO Box 6754, Jackson, WY 83002
Town of Jackson Zoning: Office Residential (OR)
Comprehensive Plan District: 2 - Town Commercial Core (Subarea: Mixed Use Office and Residential)

Gary Peterson is under contract to purchase 110 S Willow, Jackson, Wyoming from Wind River Partners, LLC. Mr Peterson desires to **create a single multi-family residential structure with four (4) units utilizing the 2:1 Bonus tool**. There will be two (2) deed-restricted residential dwelling units and two (2) unrestricted residential dwelling units.

An existing residential structure with four (4) attached residential units is currently on the site – two (2) units at ground level, one (1) unit with daylight/walkout basement and one (1) unit in a story above the daylight basement unit. The units consist of one (1) 1-br unit and three (3) 2-br units – all over 500 sf. in floor area. The existing building was built in 1939 with a two-unit addition built in 1990 consisting of the daylight/walkout basement unit and unit above. These structures will be removed.

This project is being presented to the Design Review Committee on a Building Permit level based on its location within the Town of Jackson's Office Residential (OR) zone.

The property is located in a **transitional neighborhood with a mix of public and private uses** as well as both commercial and residential. The structures in this neighborhood vary in size and age; there is a range from small historic structures to larger buildings. For example, the Town Hall and Jail (soon to be Justice Center) are located across South Willow Street street. A three-story mixed-use building with both commercial and residential spaces is located across the intersection. A small historic house being used for commercial and an apartment building are located across East Pearl Street. The lot to the west is currently mostly vacant. The property to the south has a parking lot and a two-story office structure.

Per the Town of Jackson Land Development Regulations, part of the intent of the Office Residential (OR) zone is to provide for **a mix of higher intensity housing options**. This project supports that intent.

Per the Comprehensive Plan, this project located in District 2.6 (Mixed Use Office & Residential) supports the future goal of this transitional subarea as a vibrant pedestrian-oriented corridor with mixed use and residential structures. The structure in this residential project will be two-stories and located along the streets of East Pearl Avenue & South Willow Street.

The structure in this residential project engages the surrounding streets and maximizes the potential of each unit to best provide comfortable living for residents (including two workforce deed restricted units).

PROJECT GOALS: Mr. Peterson is striving to achieve an **attractive residential housing project with vibrant landscaping** that will be a welcome addition to the existing neighborhood and blend with Jackson's vernacular feel. Creating an enjoyable pedestrian experience for the public while maintaining privacy for the residents is a goal.

Density is not exceeded for the site. The building will not exceed two stories. The bulk and scale of the proposed addition will be appropriate for the neighborhood.

DESIGN ELEMENTS NARRATIVE:

PUBLIC SPACE: The structure will be a private residential structure, but we are working to engage the street with pedestrian-friendly massing, glazing/balconies, inviting entryways, well-maintained sidewalks, and vibrant landscaping. Parking will be screened by the enclosed garage; frosted windows have been integrated to add visual interest without subjecting pedestrians to views of vehicles.

The utilities for this project will be buried.

Trash bins will be stored in the west side-yard. There is an existing fence that belongs to the neighboring property to the west that will work as a visual screen.

COMPOSITION: We worked to create a well-balanced design grounded by two stone circulation towers and anchored by a stone base. Attention was paid to the window layout and pattern to create a pleasing architectural rhythm.

MASSING: We feel that the proposed structure will blend well with the existing neighborhood — it will help soften the transition from the new Justice Center to the existing neighborhood. Both additive and subtractive massing approaches are utilized. We worked to break up the building to be more engaging at a human scale. It is a goal to have street presence while still maintaining privacy for residents.

The structure is not large. The height does not exceed 30'-0" and wall planes have massing variation and multiple window/door placements. Material changes are also at work to break up the massing of the buildings.

STREET WALL: A street wall is generally formed with our structure. There are breaks to provide comfortable circulation for vehicles and pedestrians. We worked to include glazing for transparency and interest; however, resident privacy was also considered.

MATERIALS: We are creating an elegant, mountain contemporary structure that will withstand the harsh climatic elements (with strict adherence to fire separation needs). The selected exterior materials are very appropriate for a residential project in the existing neighborhood adjacent to downtown Jackson. A combination of vertical stained exterior wood siding, vertical stained exterior wood siding, non-reflective matte metal siding, and dry-stacked ledge stone sourced from Montana will be used to break up the massing.

Thermally broken steel windows have been selected for durability and efficiency (matte black exterior color). Matte black or dark gray flashing to match roof and window cladding is proposed. Simple exterior light fixtures (metal: black or dark bronze) that meet the local lighting regulations will be integrated.

Generous windows maximize access to natural light and views. Balconies on the second level and rooftop provide outdoor spaces. Generous window wells and garden-level patios were created to help bring natural light into the basement spaces.

SITE & LANDSCAPE: We are working with Wilding Engineering to meet all grading, erosion, and stormwater management needs. The sidewalks along East Pearl Avenue and South Willow Street will be repaired if damaged during construction. The existing planting strip along South Willow Street will remain. The existing curb cut to the alley off of South Willow Street will remain in place. The existing curb cut on East Pearl Street will remain in place; it will be reduced and repaired if it is damaged during construction.

Creating a positive pedestrian experience while maintaining privacy for the residents is desired. Entry points into the residential project will be clear, engaging, and intended for the private residents.

We are working with Inside Out Landscape Architecture to enhance outdoor space. The IOLA Team has selected locations and species of appropriate trees and shrubs for our climate/location. There is a desire to create a positive transition between the public streetscape and the private residential spaces.

PARKING & SNOW STORAGE: Parking will be provided by an enclosed garage with one-way traffic that will enter via the alley to the south and exit to East Pearl Avenue (north). There are ample street parking options for short-term visitors.

There will be locked long-term bike storage provided inside the garage and short-term bike storage provided outside in the southeast corner of the property.

Due to the garage, associated snow storage will be relatively minimal. Snow will be pushed to the sides and stored. Snow storage for the sidewalks will be located in the landscaping buffer strips.

Note: A flat roof will be utilized to help keep snow on the roof of the structure.



Submittal Checklist

Design Review Committee (DRC)

Applicants for the DRC must fill out the below checklist and submit it with their DRC application. Applications without a completed checklist will not be accepted by the Town. A completed checklist means that all the required items are provided in the application or that a valid explanation is provided for any item that is not provided.

All DRC submittals must include the following required items:

(please check to indicate that each item has been addressed)

Application: Signed application and notarized Letter of Authorization.

Narrative: A clear narrative summarizing the proposed project and intended architectural goals and how the project meets the Vision Statement of the Town Design Guidelines.

Design Elements Narrative: Provide a paragraph for each applicable item addressing each design element in the Town Design Guidelines

Public Space (page 6 of the Town Design Guidelines). The project should demonstrate that the proposed public space is usable and desirable to inhabit. The project's developed public space must be engaging and in scale with the pedestrian. The design of the proposed public space(s) should integrate orientation/day-lighting, as well as screen the users from parking, utilities, and garbage facilities.

Composition (page 9 of the Town Design Guidelines). The project should successfully apply the design elements of composition, proportion and rhythm in the proposed materials, surfaces and massing.

Massing (page 10 of the Town Design Guidelines). The mass, height, volume complexity and arrangement of building components of the proposed development should enhance the streetscape within the context of the Town, while creating a comfortable experience for the pedestrian and mitigate adverse effects on the adjoining properties.

Street Wall (page 14 of the Town Design Guidelines). The project should clearly define the public space adjacent to the sidewalk and/or street. The scale of the street wall should appropriately address the pedestrian. The proposed development should



minimize voids in the street wall, and where voids exist, they serve to create a better pedestrian realm.

Materials (page 16 of the Town Design Guidelines). The proposed materials must be appropriate based on the surrounding context, both built and natural. The proposed materials should be durable and maintainable over time.

For projects within the **Downtown design overlay** (page 26 of the Town Design Guidelines) please provide an additional narrative addressing how the project contributes to a sense of visual continuity in keeping with **Western Character**.

Elevations: Elevations and dimensions of all proposed building facades, including colored renderings. Renderings from 3-dimensional computer models shall be provided if available.

Zoning Compliance: A complete LDR compliance table which addresses how your project complies with each item in the applicable zone. For aspects that the project may be existing nonconforming, the table should indicate which of those items are nonconforming and either how you are exempt from compliance or how you intend to address the nonconformance.

Site Plan: A site plan that shows proposed structures in the full context of the affected property. The site plan shall show the location and dimensions of all pedestrian connections, bike racks, benches, and similar public amenities.

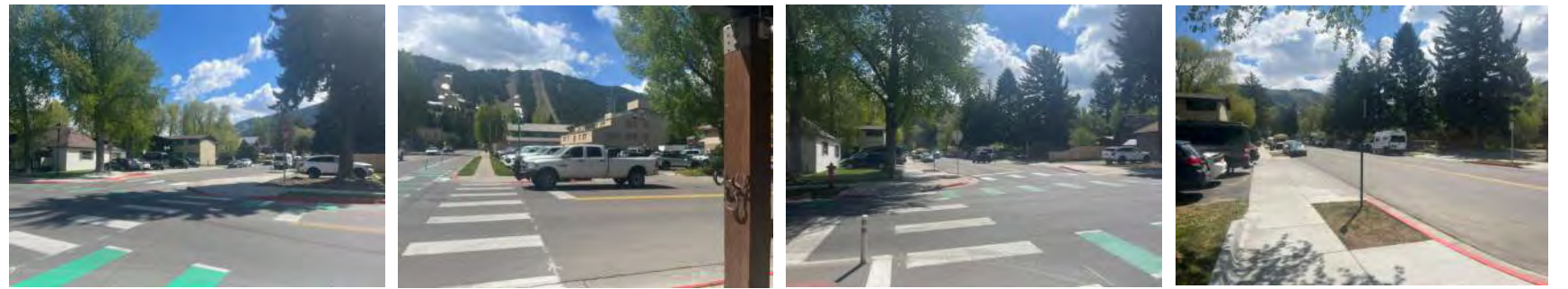
Landscape Plan: Must show all proposed landscape areas and the size and type of all proposed vegetation.

Adjacent Context/Public Realm: Drawings that depict the scale or massing of adjacent buildings on the same block face and/or across the street (transverse and longitudinal street elevations). In addition, the application shall clearly state how the project relates to adjacent sidewalks and streetscape.

Materials: A graphic depiction/materials palette of all major proposed exterior materials. The applicant shall also bring physical samples of materials to the DRC meeting.



E PEARL AVE



INTERSECTION



S WILLOW ST



MATERIAL LEGEND- PACKET	
KEY	MATERIAL
02	WOOD EXTERIOR SIDING
03	DARK GRAY ALUM. SIDING
04	BLACK METAL ACCENTS
05	6" DRY-STACKED LEDGE NATURAL STONE
06	ALUZION - ALUMINUM COATING
09	INSULATED GARAGE DOOR
12	BLACK METAL FASCIA
13	CLEAR STAINED(LIGHT) CEDAR WOOD SOFFIT
23	FROSTED GLASS WINDOW
30	EXPOSED CONCRETE FOUNDATION WALL
39	BLACK ALUMINIUM FRAMED WINDOW
53	SLIDING GLASS DOORS
56	BLACK CANOPY
59	DARK GRAY ALUM. SIDING
64	CAP
72	METAL RAILING

05- NATURAL STONE WALL BUILT FROM DEEP CREEK STONE OR EQ.



02 - WOOD EXTERIOR SIDING : OLD WOOD BOARD TEXTURE SEAMLESS / LUXURY RETRO OR EQ



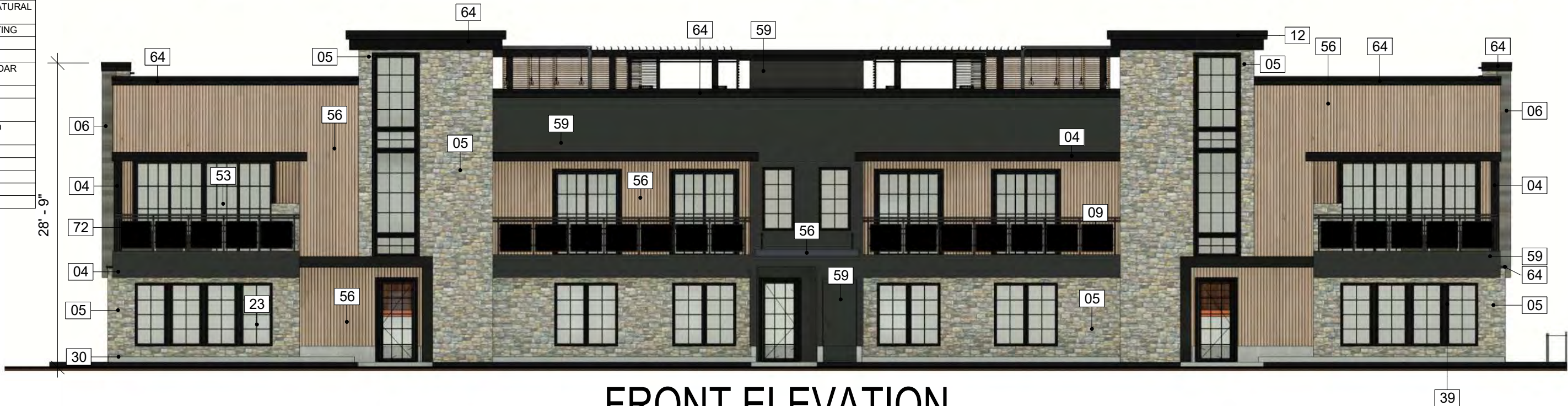
03 - DARK GRAY ALUM. SIDING



06 - ALUZION - ALUMINUM COATING



04 - BLACK METAL FASCIA/ METAL ACCENTS



FRONT ELEVATION

MARKET RATE - UNIT	
BASEMENT LVL UNIT MR	1402 SF
BASEMENT LVL PATIO MR	124 SF
BASEMENT LVL STAIRS/ ELEVATOR MR	250 SF
MAIN LVL STAIRS / ELEV. MR	221 SF
SECOND LVL UNIT MR	2012 SF
SECOND LVL STAIRS/ ELEV. MR	306 SF
SECOND LVL DECK MR	194 SF
SECOND LVL BALCONY MR	128 SF
ROOFTOP LVL MR	2346 SF
ROOFTOP LVL STAIR/ ELEV. MR	279 SF
	7261 SF
GARAGE LEVEL - MR/WF	
MAIN LEVEL GARAGE	4321 SF
WORK FORCE - UNIT	
BASEMENT LVL UNIT WF	664 SF
BASEMENT LVL COMMON AREA WF	214 SF
BASEMENT LVL PATIO WF	121 SF
MAIN LVL COMMON AREA WF	159 SF
	1158 SF



WILLOW AND PEARL
4-PLEX
PETERSON, GARY

SQUARE FOOTAGE

BUILDING SF	
BASEMENT LEVEL	5196 SF
MAIN LEVEL	4669 SF
2ND LEVEL	4430 SF
ROOFTOP LEVEL	4727 SF
TOTAL	19024 SF

05/21/2026

A1

kmw architecture
Katherine M. Wilson
Licensed Architect
AIA, NCARB, LEED AP (BD+C), WELL AP
PO Box 3314, Jackson, WY 83001
307.690.8950 | katie@kmw-arch.com

 **Legacy**
Drafting and Design
962 W 800 N, OREM, UT, 84057
801.221.4777 | greg@legacyhomedesign.com
legacyhomedesign.com





BACK ELEVATION



MATERIAL LEGEND- PACKET	
KEY	MATERIAL
02	WOOD EXTERIOR SIDING
03	DARK GRAY ALUM. SIDING
04	BLACK METAL ACCENTS
05	6" DRY-STACKED LEDGE NATURAL STONE
06	ALUZION - ALUMINUM COATING
09	INSULATED GARAGE DOOR
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53	SLIDING GLASS DOORS
56	BLACK CANOPY
59	DARK GRAY ALUM. SIDING
64	CAP
72	METAL RAILING

05- NATURAL STONE
WALL BUILT FROM
DEEP CREEK STONE
OR EQ.



02 - WOOD EXTERIOR
SIDING :
OLD WOOD BOARD
TEXTURE SEAMLESS /
LUXURY RETRO OR EQ



03 - DARK GRAY
ALUM. SIDING



06 - ALUZION - ALUMINUM
COATING



04 - BLACK METAL
FASCIA/ METAL
ACCENTS



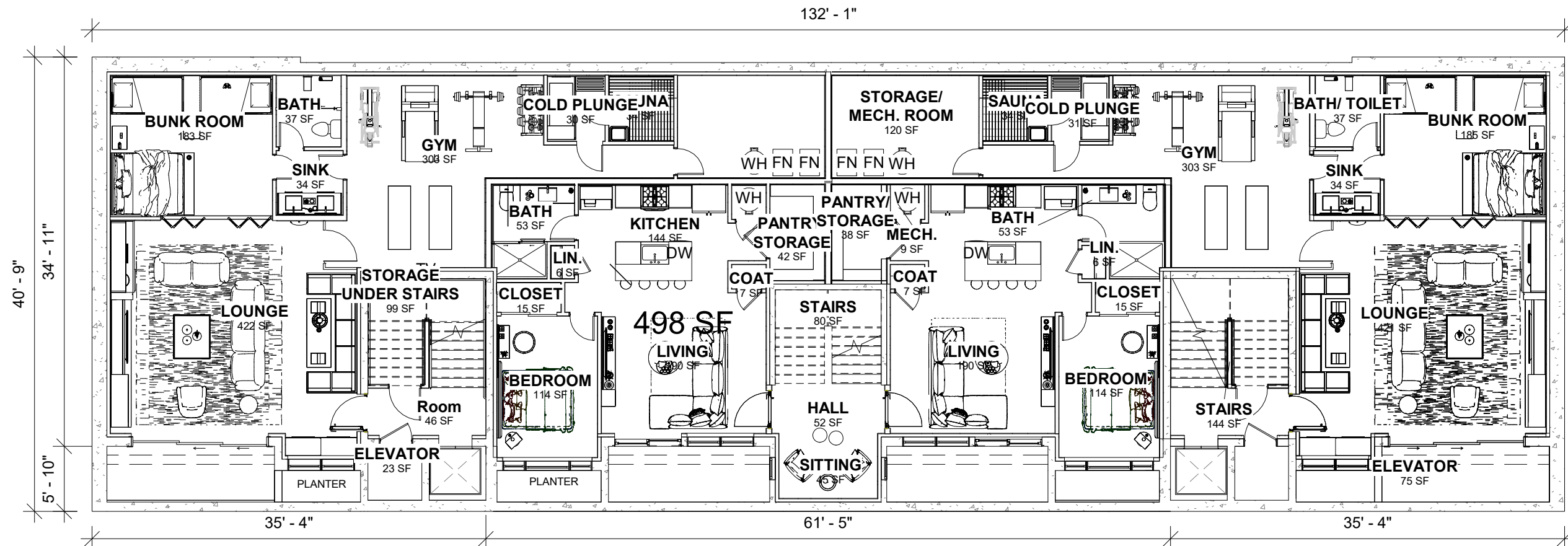
LEFT ELEVATION

MATERIAL LEGEND- PACKET	
KEY	MATERIAL
02	WOOD EXTERIOR SIDING
03	DARK GRAY ALUM. SIDING
04	BLACK METAL ACCENTS
05	6" DRY-STACKED LEDGE NATURAL STONE
06	ALUZION - ALUMINUM COATING
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56	BLACK CANOPY
59	DARK GRAY ALUM. SIDING
64	CAP
72	METAL RAILING

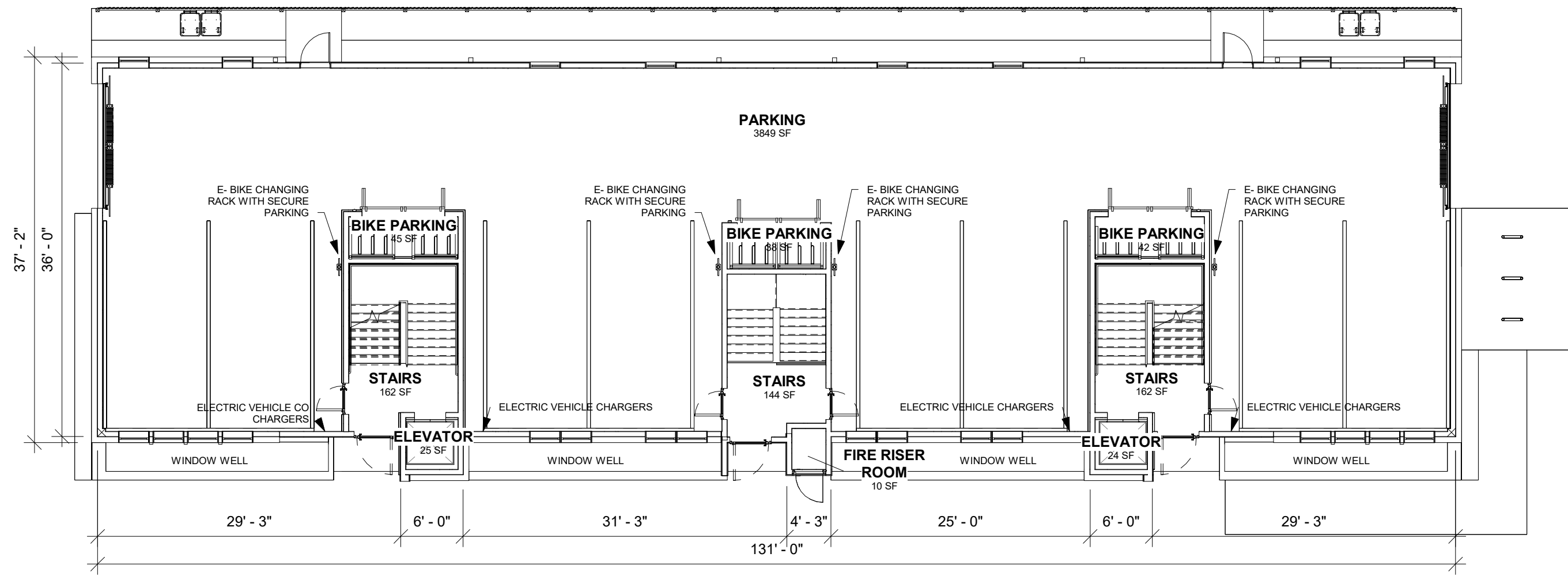


RIGHT ELEVATION

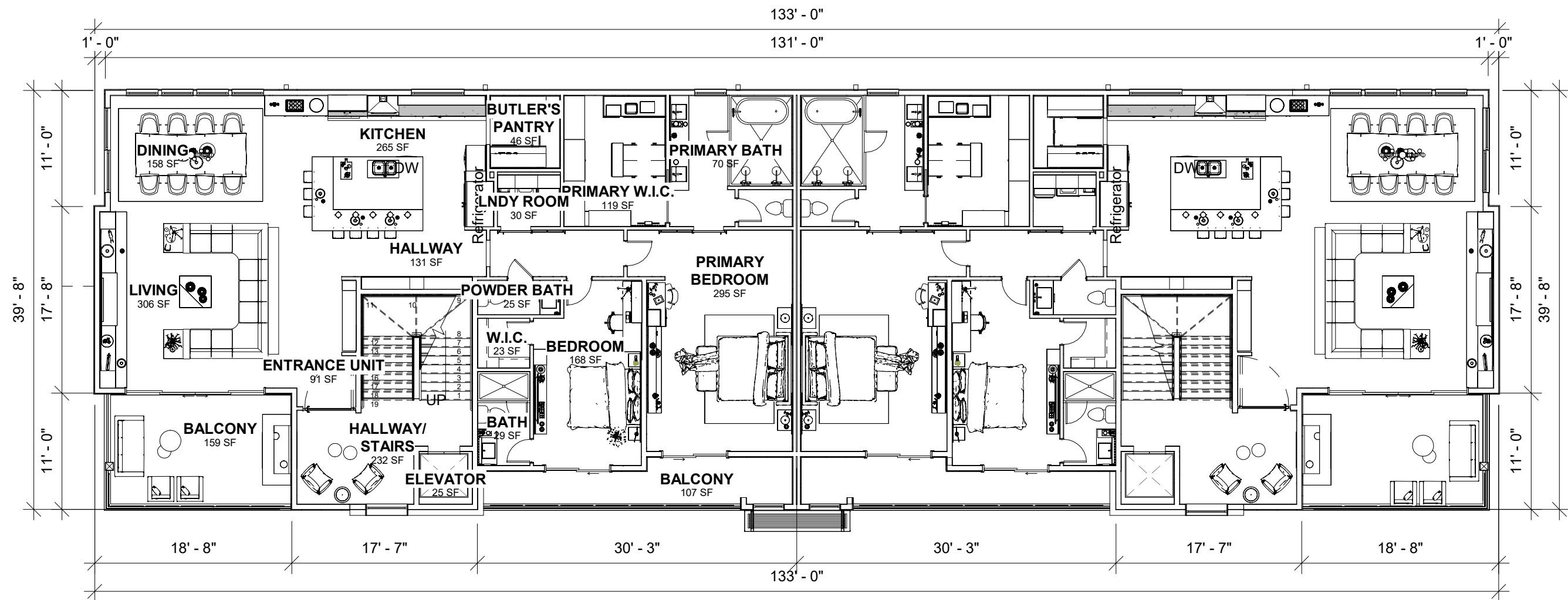




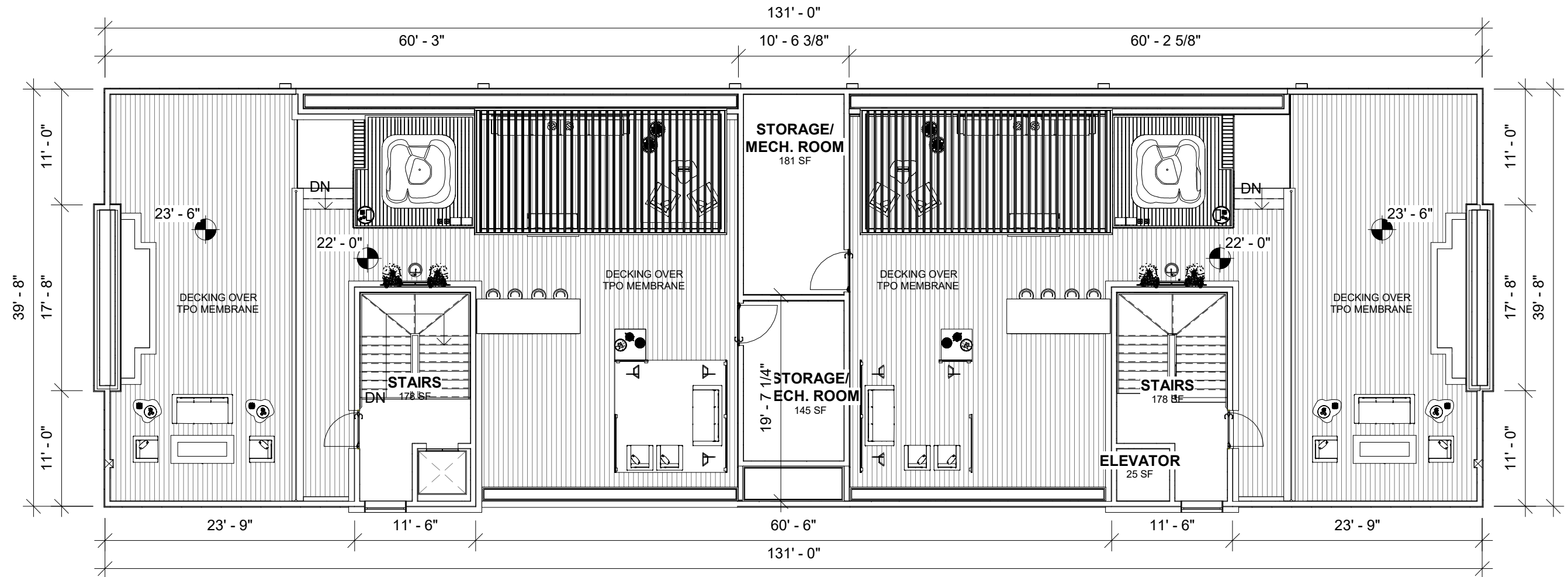
BASEMENT - PACKET



MAIN LEVEL



SECOND LEVEL



LOWER ROOF TOP - PACKET

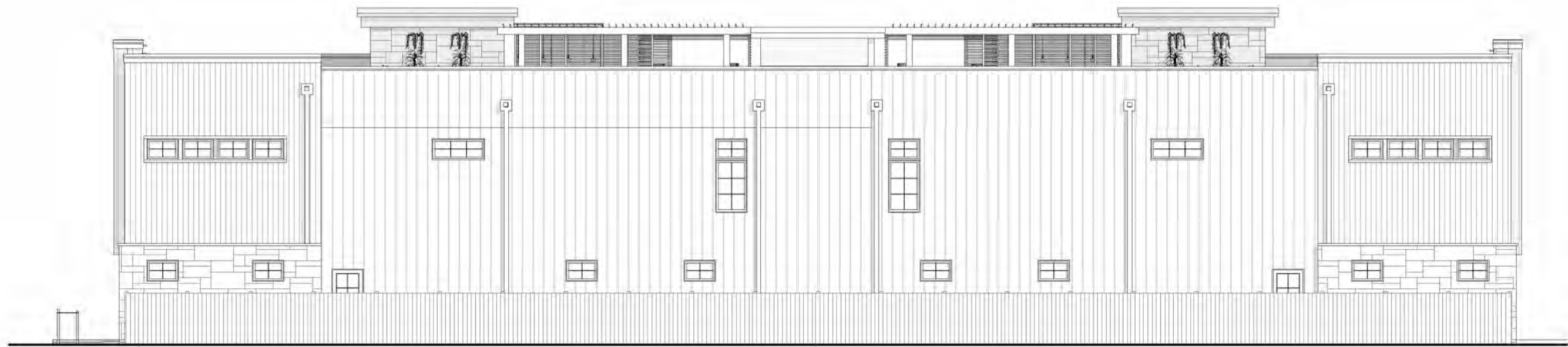


FRONT ELEVATION

MATERIAL LEGEND	
KEY	MATERIAL
02	WOOD EXTERIOR SIDING
03	DARK GRAY ALUM. SIDING
04	BLACK METAL ACCENTS
05	6" DRY-STACKED LEDGE NATURAL STONE
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56	BLACK CANOPY
59	DARK GRAY ALUM. SIDING
64	CAP
72	METAL RAILING



RIGHT ELEVATION

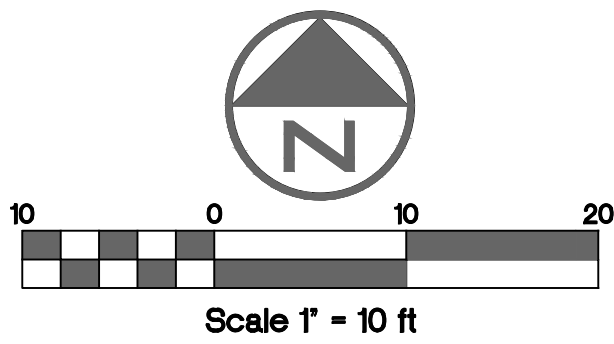


BACK ELEVATION

MATERIAL LEGEND	
KEY	MATERIAL
02	WOOD EXTERIOR SIDING
03	DARK GRAY ALUM. SIDING
04	BLACK METAL ACCENTS
05	6" DRY-STACKED LEDGE NATURAL STONE
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53	SLIDING GLASS DOORS
56	BLACK CANOPY
59	DARK GRAY ALUM. SIDING
64	CAP
72	METAL RAILING



LEFT ELEVATION



EX STORM MANHOLE

EX STORM GRATED INLET

PEARL AVENUE

EX CURB & GUTTER

EX CONCRETE DRIVE APPROACH

EX 5' SIDEWALK

S89°33'51"E 50.03'

5.00' SETBACK

5.00' SETBACK

EX GRAVEL PARKING AREA TO BE REMOVED

EX SHEDS TO BE REMOVED

EX BUILDING TO BE REMOVED

S00°43'47"W 150.12'

N00°40'42"E 150.10'

WILLOW STREET

EX STORM MAIN (APPROXIMATE LOCATION)

EX WATER MAIN (APPROXIMATE LOCATION)

EX WATER METER SEE NOTE 3

EX CURB & GUTTER

EX PARK STRIP

EX 5' SIDEWALK TO REMAIN

5.00' SETBACK

5.00' SETBACK

N89°32'31"W 49.90'

ALLEY

APPROXIMATE EDGE OF ALLEY

EX POWER POLE

EX SEWER MANHOLE

EX SEWER MAIN (APPROXIMATE LOCATION)

WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
1. FIELD SURVEY PERFORMED BY ENCLOSURE SURVEYING, DATED JAN 7, 2026.
 2. ALL DISPLAYED UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS PER GIS MAP IMAGES PROVIDED BY THE TOWN OF JACKSON.
 3. WATER METER LOCATION SHOWN IN APPROXIMATE PER TOWN OF JACKSON GIS DATA. ACTUAL LOCATION MAY DIFFER. CONTRACTOR TO LOCATE AND VERIFY.

LEGEND

- W — EXISTING WATERLINE
- — EXISTING SEWER MAIN
- — EXISTING STORM DRAIN

DATA TABLE

ADDRESS: 110 SOUTH WILLOW STREET
LOT SIZE: 7500.52 SF OR 0.17 ACRES



G:\DATA\26137 Jackson WY 4 plex\dwg\26137 Jackson WY 4 plex Site.dwg
PLOT DATE: May 20, 2026

NO.	REVISION	DATE

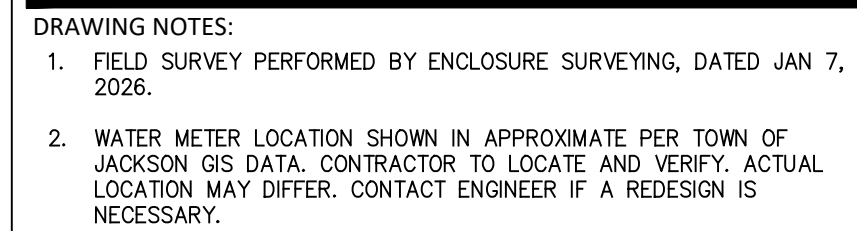
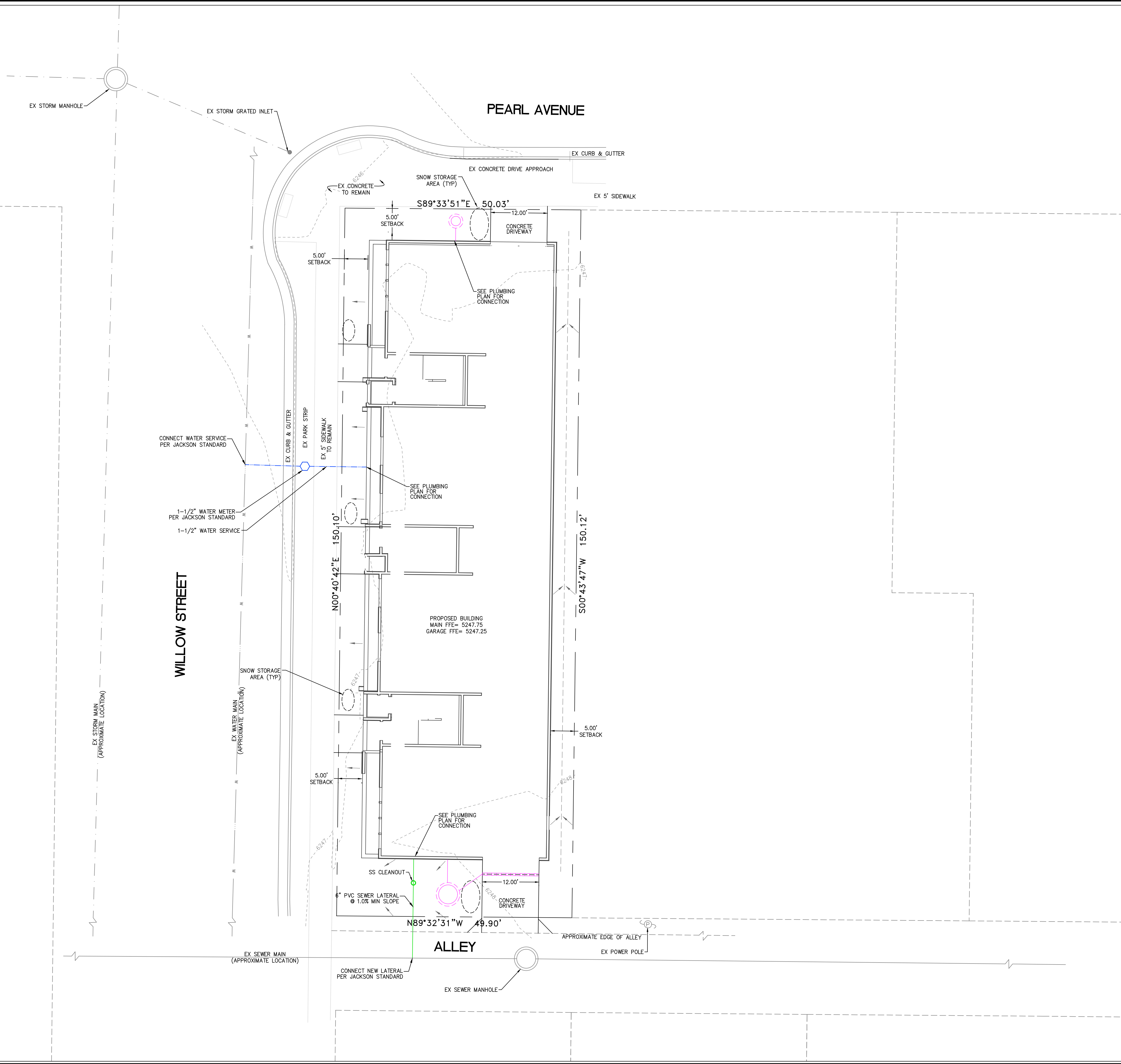
PROJECT INFORMATION

WILLOW AND PEARL

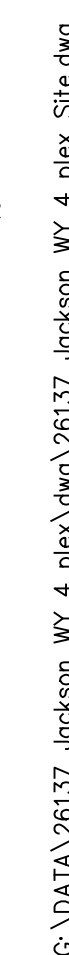
EXISTING CONDITIONS
& DEMO PLAN

110 S WILLOW STREET
JACKSON, WYOMING

DRAWN MSS	CHECKED MEC	PROJECT # 26137
		DATE 05/11/2026
		SCALE 1" = 10'
		SHEET C201



 W ——— EXISTING WATERLINE
 W ——— PROPOSED WATER SERVICE
 ○ PROPOSED 3/4" WATER METER
 ——— EXISTING SEWER MAIN
 ——— PROPOSED 4" SEWER LATERAL
 ——— EXISTING STORM DRAIN



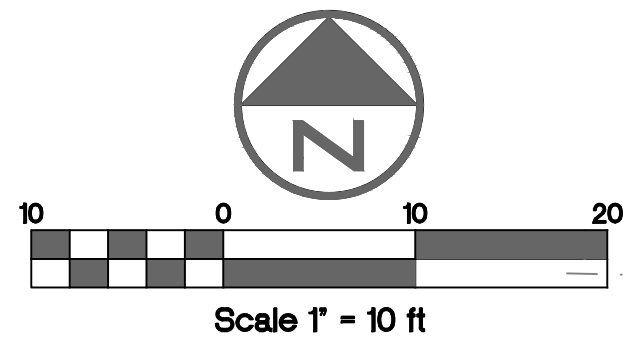
PROJECT INFORMATION

WILLOW AND PEARL

SITE UTILITY PLAN

110 S WILLOW STREET
JACKSON, WYOMING

DRAWN MSS	CHECKED MEC	PROJECT # 26137
	DATE 05/11/2026	
	SCALE 1" = 10'	
	SHEET C202	



EX STORM MANHOLE

EX STORM GRATED INLET

PEARL AVENUE

EX CURB & GUTTER

EX CONCRETE DRIVE APPROACH

EX 5' SIDEWALK

EX CURB & GUTTER

EX PARK STRIP

EX 5' SIDEWALK TO REMAIN

EX= 46.45

EX= 46.46

EX= 46.59

EX= 46.57

EX= 46.79

EX= 46.88

DRAINAGE SUMP
GRATE= 6246.54
BOTTOM= 6240.54
IE (S)= 6242.50

(2) 6" STEPS

(2) 6" STEPS

(1) 6" STEP

PROPOSED BUILDING
MAIN FFE= 5247.75
GARAGE FFE= 5247.25

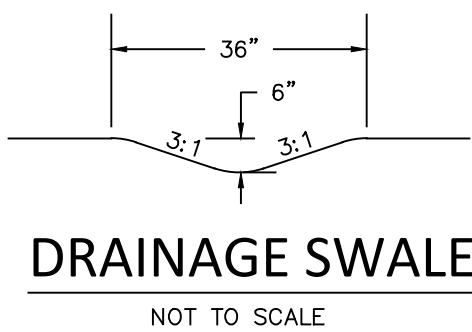
DRAINAGE SWALE

TRENCH DRAIN

ALLEY

EX POWER POLE

DRAINAGE SUMP
GRATE= 6247.20
BOTTOM= 6241.20
IE (N)= 6242.50
IE (NE)= 6245.20



WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

LEGEND

--- EXISTING INDEX CONTOUR (5')
--- EXISTING CONTOUR (1')
--- PROPOSED CONTOUR (1')
--> DRAINAGE FLOW ARROW



G:\DATA\26137 Jackson, WY 4 plex\dwg\26137 Jackson WY 4 plex Site.dwg
PLOT DATE: May 25, 2026

NO.	REVISION	DATE

PROJECT INFORMATION

WILLOW AND PEARL

GRADING & DRAINAGE PLAN

110 S WILLOW STREET
JACKSON, WYOMING

DRAWN
MSS

CHECKED
MEC

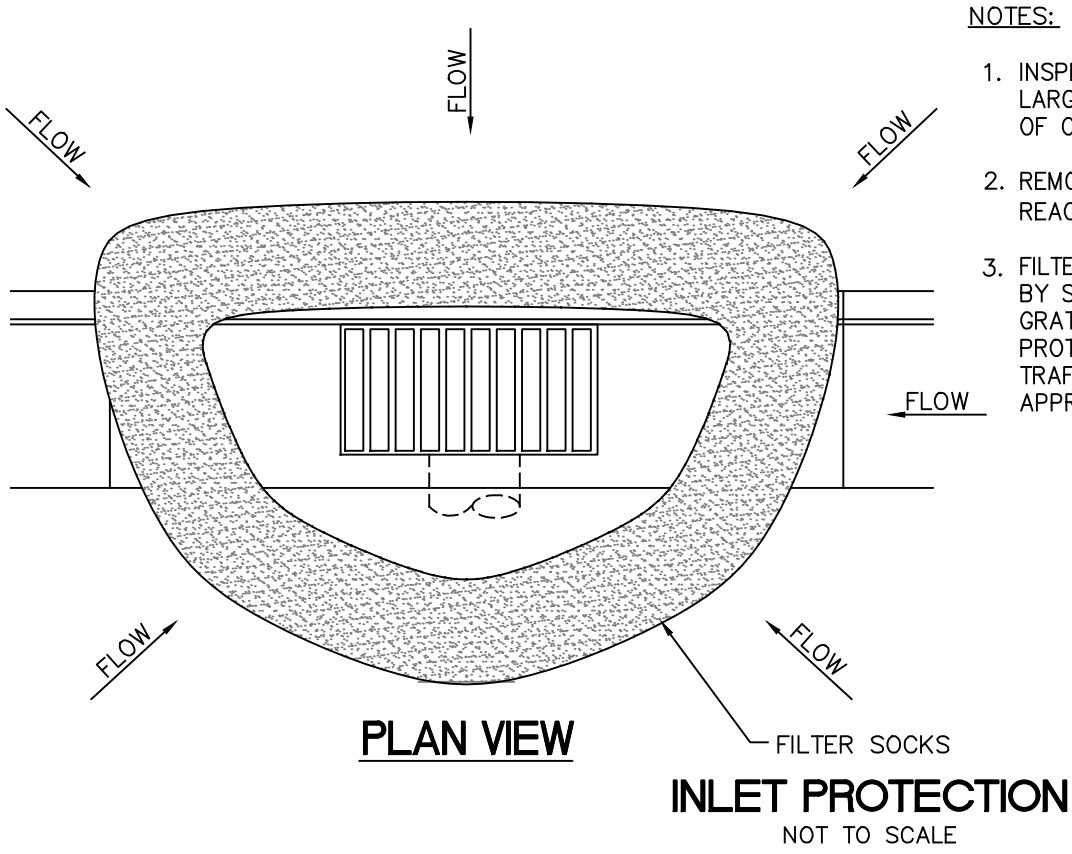
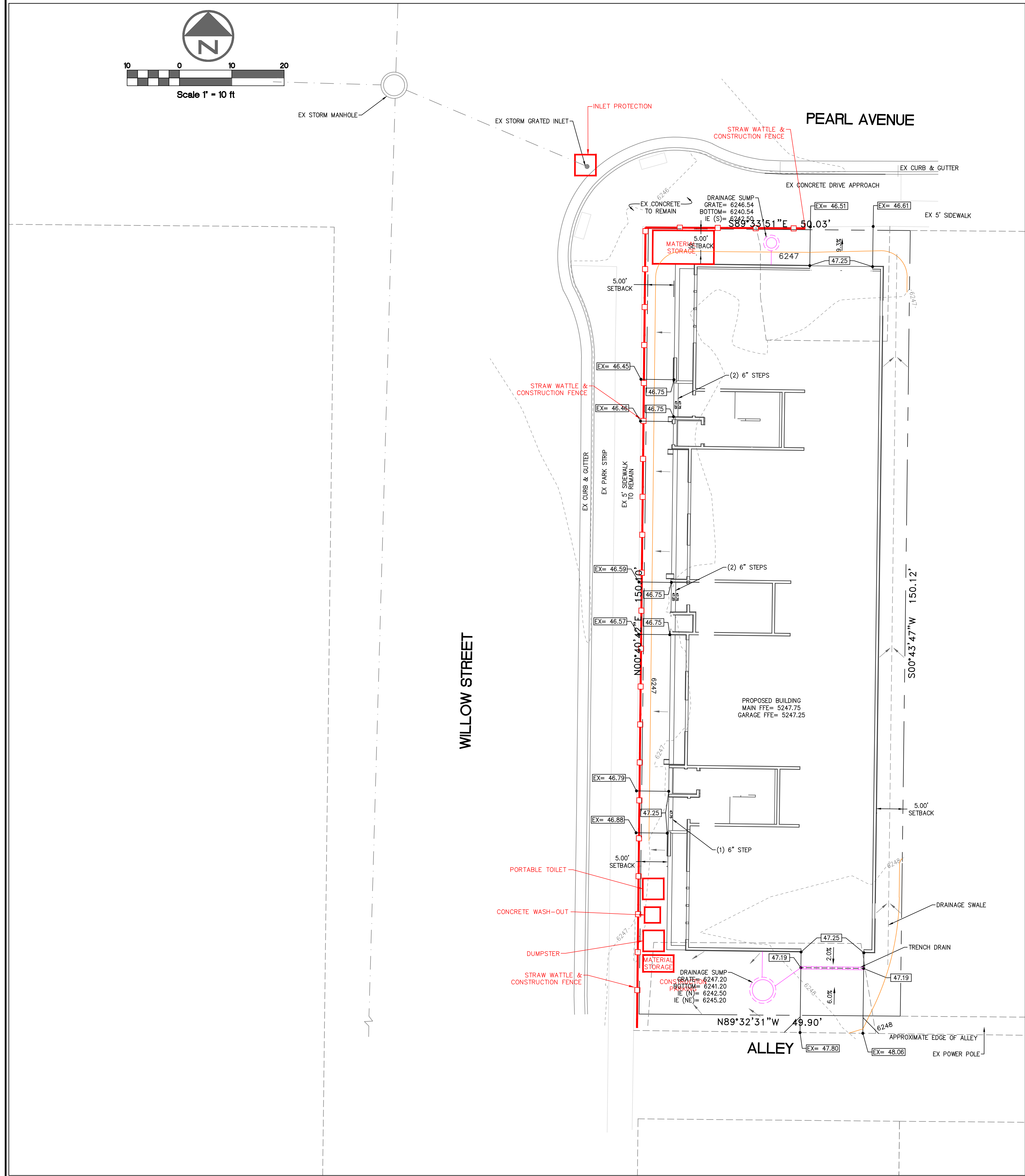
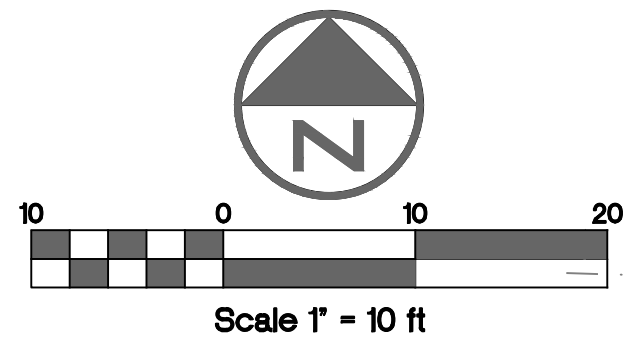
PROJECT #
26137

DATE
05/11/2026

SCALE
1" = 10'

SHEET
C203

ENGINEER'S STAMP



- NOTES:
1. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT A MINIMUM OF ONCE A WEEK.
 2. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 1/2 OF FILTER SOCK HEIGHT.
 3. FILTER FABRIC MAY BE USED WITHIN INLET BY SECURING THE FABRIC WITH THE INLET GRATE COVER. THIS METHOD OF INLET PROTECTION IS APPROPRIATE FOR HIGH TRAFFIC AREAS AND MAY NEED THE APPROVAL OF A CITY INSPECTOR.

WILDING ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
1. ALL STORM WATER, DIRT, MUD, AND DEBRIS SHALL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS COMPLETE.
 2. STORM DRAIN INLET PROTECTION SHALL BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM THE SITE DURING CONSTRUCTION.
 3. THE STREET, TOP OF CURB, AND GUTTER WILL BE INSPECTED AND CLEANED (INCLUDING SWEEPING WITH A BROOM IF NECESSARY) OF ALL MUD, DIRT, AND DEBRIS AT THE END OF EVERY DAY.
 4. IN ADDITION TO SILT FENCING, A BERM AND/OR SWALE MAY BE REQUIRED ALONG THE DOWNSTREAM PROPERTY LINES TO PREVENT STORM WATER FROM FLOWING ONTO ADJACENT PROPERTIES.

LEGEND

	EXISTING INDEX CONTOUR (5')
	EXISTING CONTOUR (1')
	PROPOSED CONTOUR (1')



NO.	REVISION	DATE

PROJECT INFORMATION

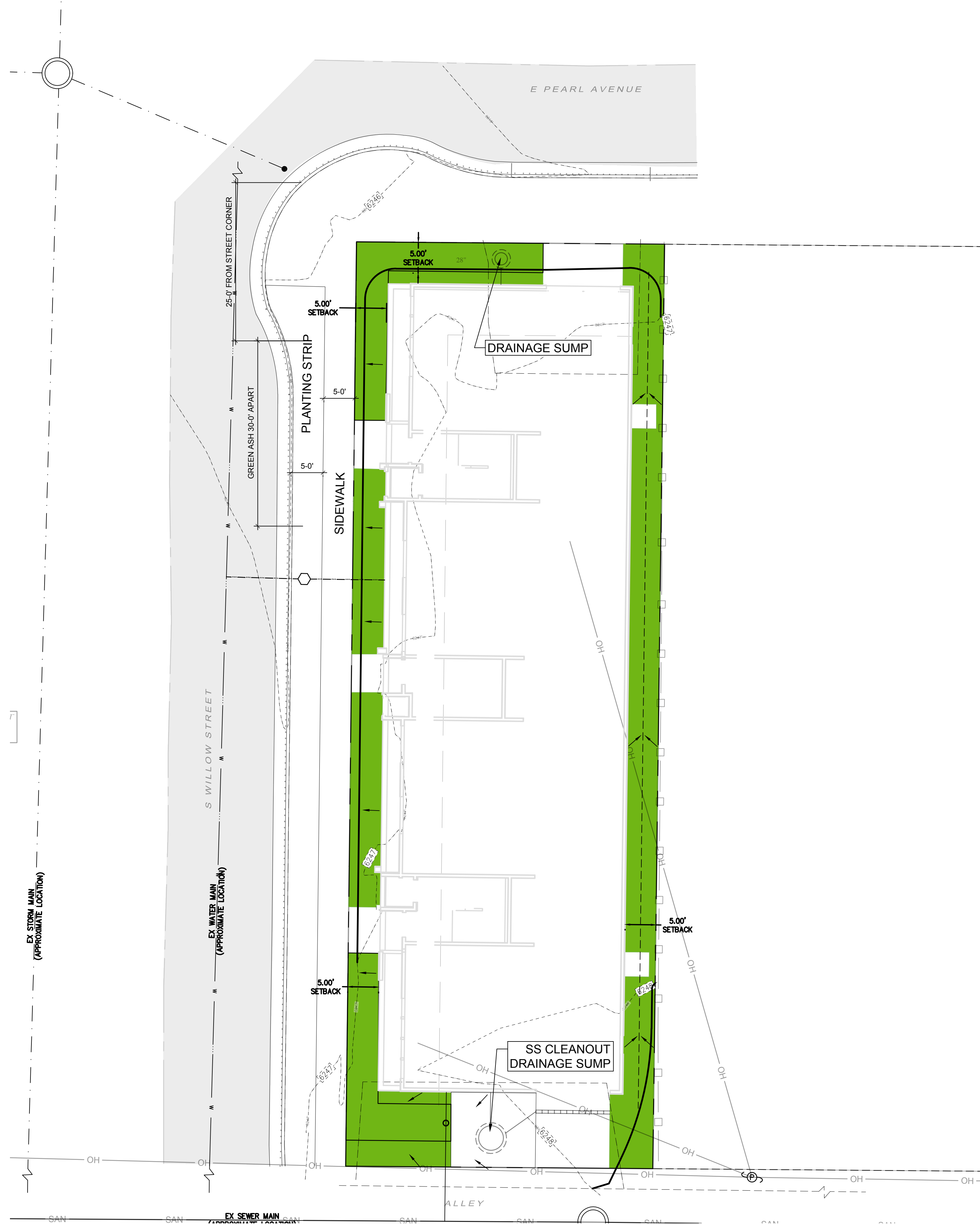
WILLOW AND PEARL

EROSION CONTROL PLAN

110 S WILLOW STREET
JACKSON, WYOMING

DRAWN MSS	CHECKED MEC	PROJECT # 26137
		DATE 05/11/2026
		SCALE 1" = 10'
		SHEET C204

S:\DATA\26137 Jackson, WY 4 plex\dwg\26137 Jackson WY 4 plex Site.dwg
PLOT DATE: May 26, 2026



- GENERAL NOTES:
1. REFER TO ARCHITECTURAL PLANS PREPARED BY KATHERINE WILSON, AIA
 2. REFER TO EXISTING SITE CONDITIONS SURVEY PREPARED BY ENCLOSURE SURVEYING DATED 01/07/2026
 3. GROSS SITE AREA = 0.17 AC
 4. ALL SLOPES ARE LESS THAN 5%
 5. ZONING OVERLAY IS OFFICE USE PERMITTED (OUP)
 6. VEGETATION IS NRDS, BUILDINGS AND DRIVEWAYS AND SMALL PORTION OF NSML, LAWNS AND LANDSCAPING
 7. THE LOT IS NOT MAPPED WITHIN A LANDSLIDE OR FLOOD ZONE AS PER TC GIS.

110 S WILLOW STREET

0.17 AC (7,500 SF)
ZONING = OR (OFFICE RESIDENTIAL)
LSR REQUIRED = 20% (1,500 SF)
LSR PROVIDED = 23% (1,727 SF)
PLANT UNITS REQUIRED = 1 PER 1,000 SF OF REQUIRED LSR = 1.5 (ROUND UP TO 2)

LSR PROVIDED 1,727 SF

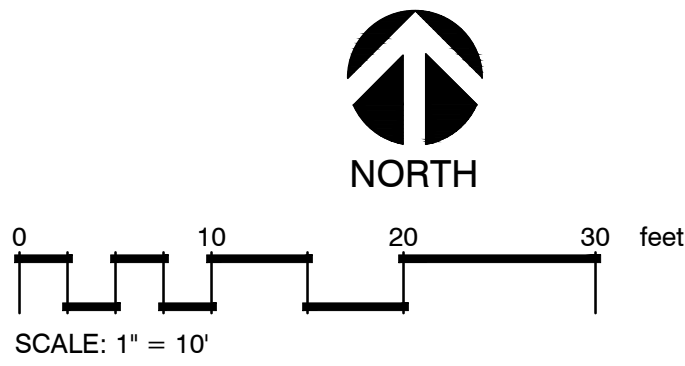
MUNICIPAL TREE CODE - TOWN OF JACKSON
CHAPTER 12.24 - PROTECTION AND CARE OF TREES:

12.24.020 Tree Sizes and Species
The following tree size and classification shall apply in subsequent sections:
Jackson Municipal Code Title 12 -Streets and Other Public Places Page 31 of 43
Small tree: up to (25) twenty five feet projected height at maturity.
Medium trees: (25) twenty five feet -(40) forty feet projected height at maturity.
Large trees: over (40) forty feet projected height at maturity.
New planting of nuisance species as determined by the Town Urban Forest Council shall be discouraged. (Ord. 984 §1, 2011)

12.24.030 Distance from Curb and Sidewalk
There shall be no trees planted on public rights-of-way for streets or alleys unless authorized by Town Urban Forest Council. Upon authorization, deciduous trees may be planted in public rights-of-way no closer to any curb or sidewalk as follows:
small trees, (2) two feet;
medium trees, (3) three feet;
large trees, (4) four feet.
Conifer trees may require additional separation.

12.24.040 Distance from Street Corners and Fireplugs
There shall be no trees planted on public rights-of-way for streets or alleys unless authorized by the Town Urban Forest Council. Upon authorization, trees shall not be planted closer than (20) twenty feet of any street corner, measured form the point of nearest intersecting curb or curb lines. Trees shall not be planted closer than (10) ten feet of any fireplug.
(Ord. 984 §1, 2011)

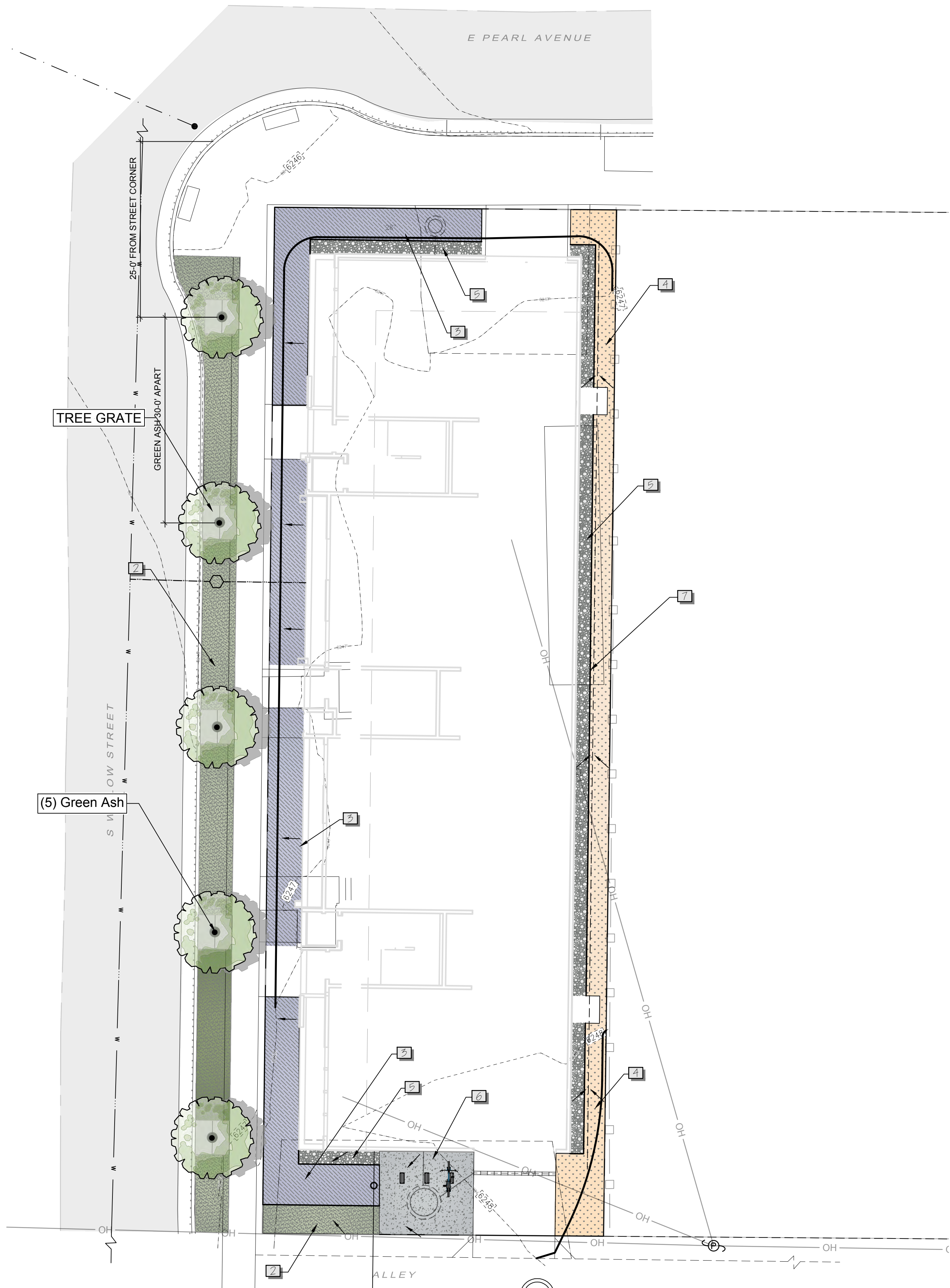
12.24.050 Utilities
There shall be no trees planted on public rights-of-way for streets or alleys unless authorized by Town Urban Forest Council. Upon authorization, no Street trees other than those described as small in this ordinance may be planted under or within (10) ten lateral feet of any overhead utility wire, or over or within (5) five lateral feet of any underground water line, sewer line, transmission line or other utility. (Ord. 984 §1, 2011)



PROJECT TITLE:
110 S WILLOW
JACKSON WY

DRAWING TITLE:
LANDSCAPE SURFACE RATIO

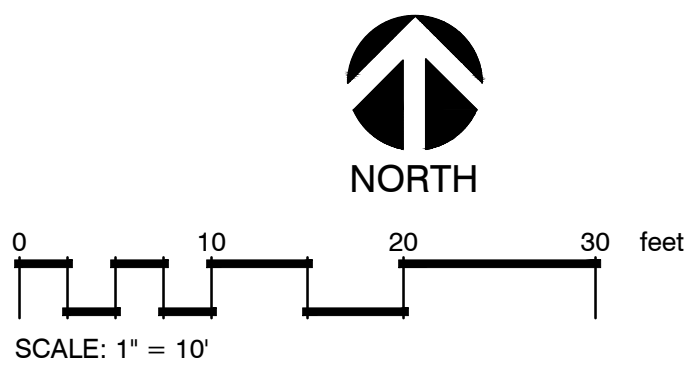
DRAWING NO: L300
Project Number: 2026-09
Prepared By: AMF Date: 05/20/26 Rev. Date:



REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	1	MOVED LAWN AREA	684 SF
	2	PLANTING BEDS	828 SF
	3	NATIVE GRASSES	505 SF
	4	DRIP STRIP	325 SF
	5	CONCRETE PAD FOR BIKE RACKS	168 SF
	6	STEEL EDGING 4" X 1/8"	184 LF

Inside Out Landscape Architecture, LLC
5263 Torrence Road
Wilson, WY 83014
(307) 690-4907
Allison Fleury, PLA
allison.iola@gmail.com
allison_fleury@fastmail.fm



PROJECT TITLE:
110 S WILLOW
JACKSON WY

DRAWING TITLE:
LANDSCAPE PLAN

DRAWING NO: L301
Project Number: 2026-09
Prepared By: AMF Date: 05/20/26 Rev. Date: xx

Inside Out Landscape Architecture, LLC
5263 Torrence Rd., Wilson WY 83014
www.insideoutlandscapearchitecture.com



Snowmound Spirea



Karl Foerster Feather Reed Grass

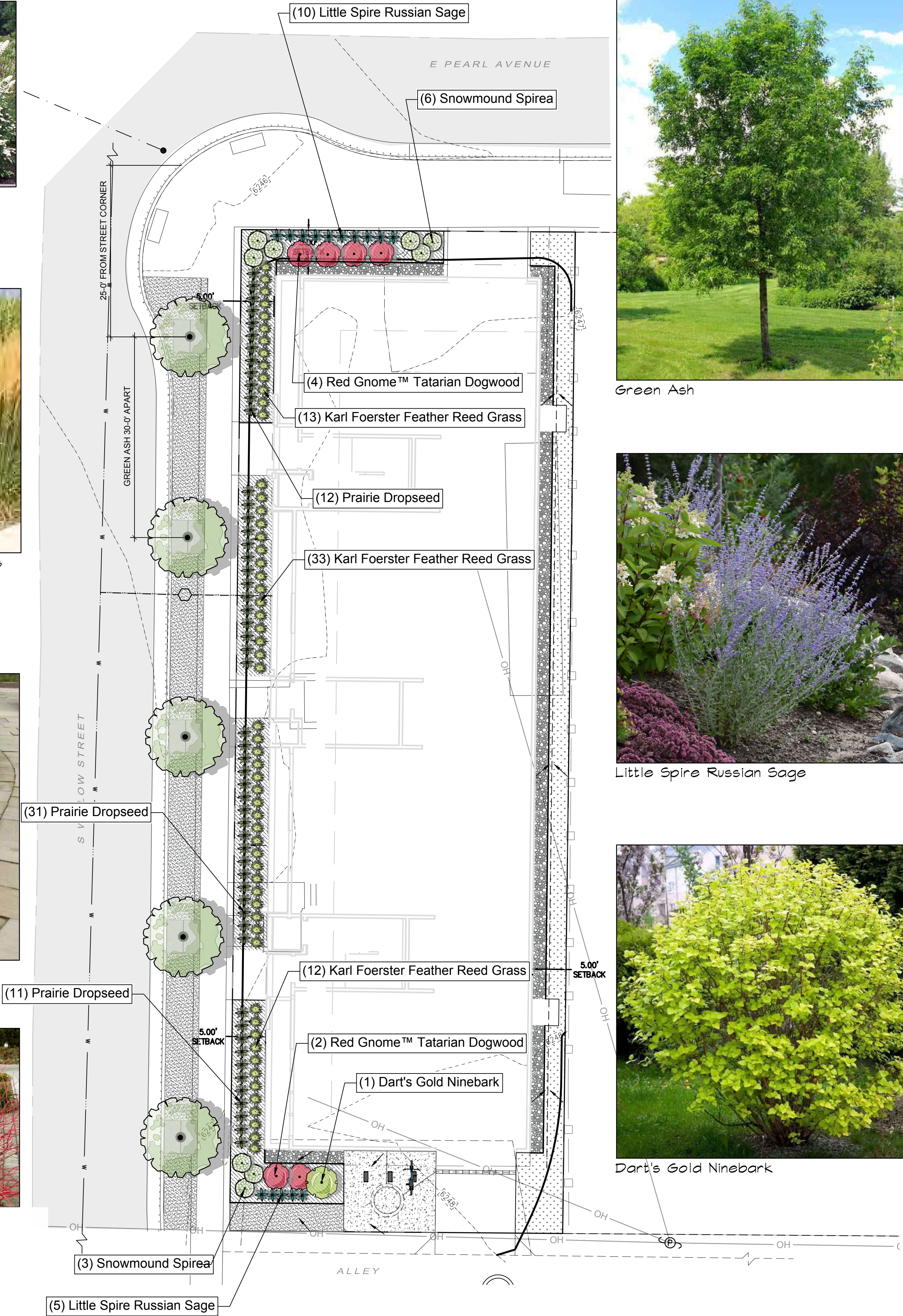


Prairie Dropseed



Red Gnome Tatarian Dogwood

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Green Ash



Little Spire Russian Sage



Dart's Gold Ninebark

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
TREES					
	FRAXINUS PENNSYLVANICA	GREEN ASH	B & B	3' CAL	5
SHRUBS					
	CORNUS ALBA 'REGNAM'	RED GNOME™ TATARIAN DOGWOOD	5 GAL		6
	PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	DART'S GOLD NINEBARK	5 GAL		1
	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL		9
GRASSES					
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL		58
	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL		54
PERENNIALS					
	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	1 GAL		15

110 S WILLOW STREET
5/20/2026
Prepared by Inside Out Landscape Architecture

Zoning OR
Size 7,500.0 SF
LSR required (20%) 1,500.0 SF
LSR provided 1,727.0 SF

Required Plant Units:

1 per 1,000 SF LSR
Total Required: 2 1.5 plant units

Plant Unit Options:

Alt.	A	Qty	Description	Estimated Cost Each	Total Cost
	1	1	3" caliper canopy tree	\$800.00	\$800.00
	6	6	6'-8' large shrub	\$275.00	\$1,650.00
	4	4	#5 container shrub	\$75.00	\$300.00
					\$2,750.00
Alt. B					
	2	2	8' high evergreen tree	\$800.00	\$1,600.00
	2	2	3" caliper canopy tree	\$400.00	\$800.00
	3	3	6'-8' large shrub	\$275.00	\$825.00
					\$3,225.00
Alt. C					
	3	3	6'-8' large shrub	\$275.00	\$825.00
	3	3	8' high evergreen tree	\$800.00	\$2,400.00
	2	2	#5 container shrub	\$75.00	\$150.00
					\$3,375.00

Average plant unit cost \$3,116.67

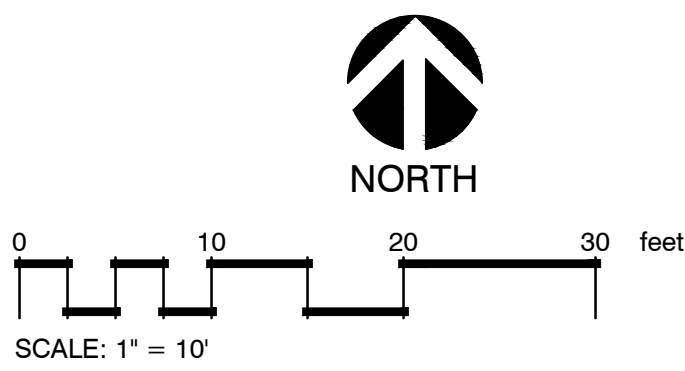
Total cost of 2 plant units \$6,233.33

Plant Material Substitutions:

10 SF of planter = Four (5) gallon shrubs
1 bench = One (3") caliper canopy tree
1 bike rack for 6 bikes = One (3") caliper canopy tree

TREES		Botanical	Common	Cont.	Cal	Size	Quantity	COST EA	TOTAL
		Fraxinus pennsylvanica	Green Ash	B & B	3" Cal		5	\$800.00	\$4,000.00
SHRUBS		Botanical	Common			Size	Quantity		
		Cornus alba 'Regnam'	Red Gnome™ Tatarian Dogwood			5 gal	6	\$75.00	\$450.00
		Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark			5 gal	1	\$75.00	\$75.00
		Spiraea nipponica 'Snowmound'	Snowmound Spirea			5 gal	9	\$75.00	\$675.00
GRASSES		Botanical	Common			Size	Quantity		
		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			1 gal	58	\$20.00	\$1,080.00
		Sporobolus heterolepis	Prairie Dropseed			1 gal	54	\$20.00	\$1,080.00
PERENNIALS		Botanical	Common			Size	Quantity		
		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			1 gal	15	\$20.00	\$300.00
Bike rack		1	Each Bike rack = one 3" caliper canopy tree				1	\$800.00	\$800.00
									Total \$8,460.00

Plant Units Provided 2.7



PROJECT TITLE:
110 S WILLOW
JACKSON WY

DRAWING TITLE:
PLANTING PLAN

DRAWING NO: L302
Project Number: 2026-09
Prepared By: AMF Date: 05/20/26 Rev. Date:

Inside Out Landscape Architecture, LLC
5263 Torrence Rd., Wilson WY 83014
www.insideoutlandscapearchitecture.com

Application

Designed to provide down lighting effects for interior and exterior locations featuring narrow beam light distribution.

Materials

Luminaire housing constructed of die-cast marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy

Clear safety glass

Reflector made of pure anodized aluminum

Silicone applied robotically to casting, plasma treated for increased adhesion

High temperature silicone gasket

Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations

Protection class IP 64

Weight: 3.5 lbs

Electrical

Operating voltage 120-277V AC

Minimum start temperature -40°C

LED module wattage 4.0 W

System wattage 6.0 W

Controllability 0-10V dimmable

Color rendering index $Ra > 80$

Luminaire lumens 318 lumens (3000K)

LED service life (L70) 60,000 hours

LED color temperature

4000K - Product number + **K4 (EXPRESS)**

3500K - Product number + **K35**

3000K - Product number + **K3 (EXPRESS)**

2700K - Product number + **K27**

Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional

Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage 4.5 W (Amber)

System wattage 8.8 W (Amber)

Luminaire lumens 90 lumens (Amber)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:

**Wall luminaires with light in downward direction**

	LED	β	A	B	C
33 580	4.0 W	23°	$4\frac{3}{8}$	$7\frac{1}{2}$	5

β = Beam angle

Type:

BEGA Product:

Project:

Modified:



Willow & Pearl: LDR Compliance

110 S Willow Street

LOT 1, BLK. 4, CACHE 1

Jackson, WY 83001

Owners: Wind River Partners LLC, PO Box 6754, Jackson, WY 83002

Parcel: 22-41-16-34-2-08-005

Size: 0.17 acres (7,500 square feet)

Town of Jackson Zoning: Office Residential (OR)

Comprehensive Plan District: 2 - Town Commercial Core (Subarea: Mixed Use Office and Residential)

Building Occupancy/Use: Multi-Family Residential Dwelling

Fire Sprinkler: N/A

Existing No. of Stories: One approx. 3,244 sf building with 2,321 sf. on the ground floor and 923 sf. second floor consisting of four (4) attached single-family units. (Existing Residential Structures to be Removed)

Proposed No. of Stories: 2 above-grade + Basement

Allowable Building Height: 30'

Actual Building Height: 26'-30'

Wildland Urban Interface Permit T-WUI2026-0015

Codes Utilized:

2024 International Building Code (IBC) & the 2021 International Residential Code (IRC)

2024 International Plumbing Code

2024 International Mechanical Code

2024 International Fuel Gas Code

2021 International Energy Conservation Code

National Electrical Code

International Fire Code and International Wildland-Urban Interface

All Town of Jackson Code Amendments

Seismic Zone D, 93 PSF Ground Snow Load, 115 MPH Wind Load

Existing: The Property consists of a single 50 x 150' lot located on the SE corner of the E. Pearl Ave. and S. Willow St. intersection. The Property is currently developed as an attached single-family residential use with four (4) residential units—two (2) units at ground level, one (1) unit with daylight/walkout basement and one (1) unit in a story above the daylight basement unit. The units consist of one (1) 1-br unit and three (3) 2-br units – all over 500 sf. in floor area. The existing building was built in 1939 with a two-unit addition built in 1990 consisting of the daylight/walkout basement unit and unit above.

Parking is provided from Pearl Ave. (2 spaces) and the rear alley (4 spaces) that lies between Pearl Ave. and Simpson Ave – 6 total off-street spaces provided.

Proposed: The project will be a new construction multi-family residential project in Jackson, Wyoming. Four units will be created utilizing the 2:1 Bonus Tool. There will be two (2) deed-restricted residential units and two (2) unrestricted residential units.

The deed-restricted units will each have one (1) bedroom, one (1) bathroom, and one (1) kitchen. These units will be workforce deed-restricted and sold.

The unrestricted units will each have two (2) bedrooms, three & half (3.5) bathrooms, one (1) kitchen, and a potential bunk room (extra bedroom) in the basement.

Parking for eight (8) vehicles is provided in an enclosed (but unconditioned) garage with one-way access from the alley that will exit to Pearl Avenue. Long-term bike storage will be provided inside the garage; designated lockable storage areas will be provided. Short-term bike storage will also be provided outside to the south of the structure.

Floor Area Ratio Calculations:Deed Restricted Conditioned Area: **1,325.06 SF****Bonus Area: $2 \times 1,325.06 \text{ SF} = 2,650.12 \text{ SF}$**

7,500 SF Site Area x .46 FAR per OR zoning = 3,450 SF Base FAR

2:1 Bonus: $\text{FAR} + (2 \times \text{Deed Restricted Conditioned Area}) =$ **$3,450 \text{ SF} + (2 \times 1,325.06 \text{ SF}) = 6,100.12 \text{ SF}$ Max. Total Allowable Above-Grade Habitable Area****Parking & Snow Storage:** Parking and snow storage is to be provided on-site.**Trash/Recycling Storage:** Trash and recycling will be stored on-site.**Construction Staging:** TBD. A General Contractor has not been hired at this time.SITE DEVELOPMENT SCHEDULE:

Demolition	TBD
Excavation	TBD
Framing/Roof	TBD
Landscaping	TBD

SUMMARY TABLE OF LDR COMPLIANCE:

	Allowed/Required	Proposed	Complies?
Site Area (min)	7,500 SF	7,500 SF	Yes
Maximum Floor Area Ratio (0.46)	3,450 SF (max) *2:1 Bonus: 6,100 SF (max)	4,494.09 SF <i>above-grade + conditioned/habitable floor area</i>	*Yes (*with 2:1 Bonus)
Minimum Landscape Surface Ratio (0.20)	1,500 SF (min)	1,727 SF	Yes
Front (Street) Setback (north)	5' to 15'	5'-6"	Yes
Rear Setback (south)	10' (min)	12'-5"	Yes
Secondary (Street) Setback (west)	5' to 15' (min)	5'-0" <i>4'-0" (*if Admin Adjustment granted)</i>	Yes
Side Setback (east/interior)	5' (min)	5'-6 1/2" <i>4'-6 1/2" (*if Admin Adjustment granted)</i>	Yes
Parking Spaces	2 (min) for Market Unit 1 2 (min) for Market Unit 2 1.5 (min) for Deed Unit 1 1.5 (min) for Deed Unit 2	8 (8 inside garage)	Yes
Building Height (roof pitch: flat)	30' (max)	29'-6" Top of Roof <i>31'-4" Top of Elevator/Roof Access</i>	Yes
Exterior Illumination 3 lumens/SF of impervious surface	5,773 SF impervious surface x 3 = 17,319 lumens (max)	12,600 lumens <i>28 light fixtures at 450 lumens each</i>	Yes

SUMMARY OF PROPOSED USES:

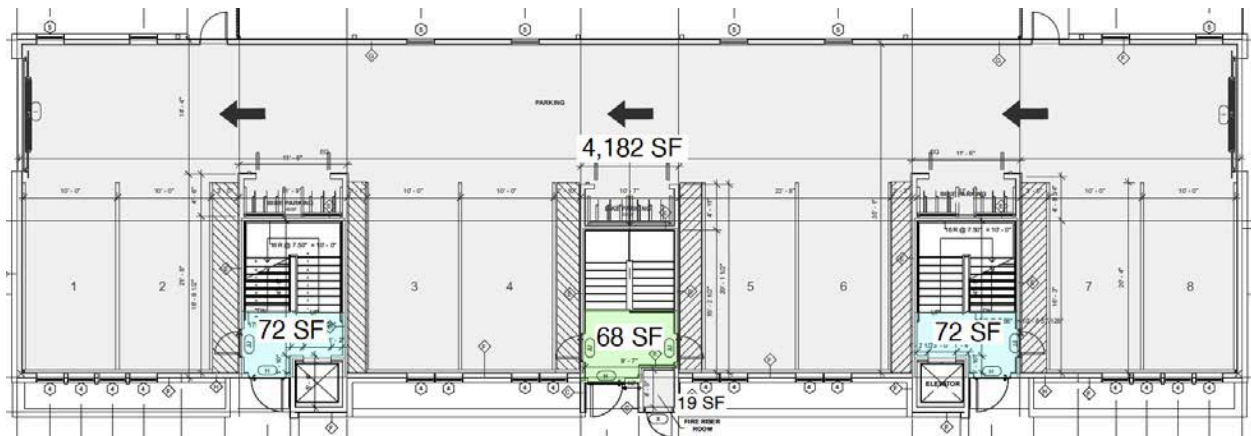
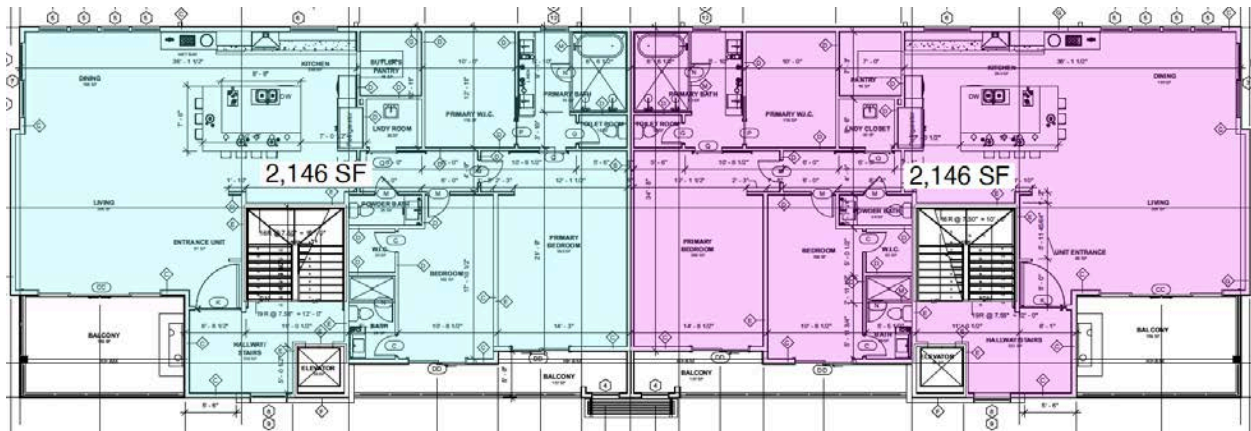
<u>110 S Willow Street</u>	Habitable Area (SF) ABOVE GRADE	Non-Habitable Area (SF) ABOVE GRADE	Habitable Area (SF) BELOW GRADE	Non-Habitable Area (SF) BELOW GRADE	TOTAL AREA (SF)
EXISTING: <i>To Be Removed</i> Multi-Family Residential Dwelling Units Unrestricted, Attached 8 Bedrooms + 4 Baths + 4 Kitchens <i>Unit 1: 1 Bedroom + 1 Bath + 1 Kitchen</i> <i>Unit 2: 2 Bedrooms + 1 Bath + 1 Kitchen</i> <i>Unit 3: 3 Bedrooms + 1 Bath + 1 Kitchen</i> <i>Unit 4: 2 Bedrooms + 1 Bath + 1 Kitchen</i>	4,167 SF (existing) <i>To Be Removed</i>	0	0	0	4,167 SF <i>To Be Removed</i>
DEED/Common Circulation:	71.87	0	207.16	0	279.03
BASEMENT DEED RESTRICTED UNIT 1: Multi-Family Residential Dwelling Unit Deed-Restricted, Attached 1 Bedroom + 1 Bath + 1 Kitchen 1.5 parking spaces required	0	0	662.53	0	662.53
BASEMENT DEED RESTRICTED UNIT 2: Multi-Family Residential Dwelling Unit Deed-Restricted, Attached 1 Bedroom + 1 Bath + 1 Kitchen 1.5 parking spaces required	0	0	662.53	0	662.53
MARKET UNIT 1: Multi-Family Residential Dwelling Unit Unrestricted, Attached 2 Bedrooms (+ possible Bunk Room) + 3.5 Baths + 1 Kitchen 2 parking spaces required	2,211.11	0	1,426.79	177.60	3,815.50
MARKET UNIT 2: Multi-Family Residential Dwelling Unit Unrestricted, Attached 2 Bedrooms (+ possible Bunk Room) + 3.5 Baths + 1 Kitchen 2 parking spaces required	2,211.11	0	1,426.79	177.60	3,815.50
MAIN LEVEL GARAGE:	0	4,182.34	0	0	4,182.34
MAIN LEVEL MECHANICAL:	0	19.33	0	0	19.33
	4,494.09	4,201.67	4,385.80	355.20	13,436.76

GROSS SQUARE FOOTAGE TABULATION:

	Existing (SF)	Proposed (SF)
Basement	0	4,741
First Floor	3,244 <i>To Be Removed</i>	4,404.58 (Garage = 4,182.34)
Second Floor	923 <i>To Be Removed</i>	4,291.18

KEY

- MARKET RATE UNIT (above-grade, conditioned floor area)
- MARKET RATE UNIT - BONUS AREA (above-grade, conditioned floor area)
- DEED RESTRICTED UNIT (below-grade, conditioned floor area)
- EXEMPT: DEED RESTRICTED CIRCULATION (conditioned floor area)
- EXEMPT: GARAGE (above-grade, unconditioned floor area)
- EXEMPT: MARKET RATE UNIT (below-grade, conditioned floor area)
- EXEMPT: MARKET RATE UNIT (below-grade, unconditioned floor area)



Katie Wilson

Architect & Owner, AIA, NCARB, WELL AP, LEED AP (BD+C)

kmw architecture

PO Box 3314

Jackson, Wyoming 83001

307-690-8950

katie@kmw-arch.com

Wyoming Board of Architects & Landscape Architects President
Town of Jackson Planning Commission
Teton County Building Appeals Board Chair
Town of Jackson Board of Examiners Vice Chair
State of Wyoming Council on Fire Protection Board Member
2026 National Council of Architectural Registration Boards Credentials Committee Chair
2022 American Institute of Architects National Secretary's Committee
2018 AIA National Strategic Councilor | AIA Western Mountain Regional Director



Town of Jackson
150 E Pearl Avenue
PO Box 1687, Jackson, WY 83001
P: (307)733-8932 F: (307)739-0919
www.jacksonwy.gov

Date:

LETTER OF AUTHORIZATION
NAMING APPLICANT AS OWNER'S AGENT

PRINT full name of property owner as listed on the deed when it is an individual OR print full name and title of President or Principal Officer when the owner listed on the deed is a corporation or an entity other than an individual: PAMELA S NINER, PRESIDENT

Being duly sworn, deposes and says that WIND RIVER PARTNERS, LLC is the owner in fee of the premises located at:

Address of Premises: 110 S WILLOW STREET, JACKSON, WY 83001

Legal Description: LOT 1, BLK. 4, CACHE 1 (PIDN: 22-41-16-34-2-08-005)

Please attach additional sheet for additional addresses and legal descriptions

And, that the person named as follows: Name of Applicant/agent: KMW Architecture (Katie Wilson)

Mailing address of Applicant/agent: PO Box 3314

Email address of Applicant/agent: katie@kmw-arch.com

Phone Number of Applicant/agent: 307-690-8950

Is authorized to act as property owner's agent and be the applicant for the application(s) checked below for a permit to perform the work specified in this/these application(s) at the premises listed above:

☐ Development/Subdivision Plat Permit Application ☒ Building Permit Application

☐ Public Right of Way Permit ☒ Grading and Erosion Control Permit ☐ Business License Application

☒ Demolition Permit

☐ Other (describe): _____

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

Property Owner Signature

Title if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner

STATE OF _____)

COUNTY OF _____) SS.

The foregoing instrument was acknowledged before me by _____ this _____ day of _____, WITNESS my hand and official seal.

Notary Public

My commission expires:

see attached

All-purpose Acknowledgment California

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Riverside

On 03/05/2026 before me, Dennis Gosnell, Notary Public (here insert name and title of the officer),

personally appeared Pamela S Niner

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.



Notary Seal

Signature Dennis Gosnell WITNESS my hand and official seal.

For Bank Purposes Only

Description of Attached Document

Type or Title of Document

Document Date

Number of Pages

Signer(s) Other Than Named Above

Account Number (if applicable)

FILED	
RECORDED	
INDEXED	
NOTED	

WARRANTY DEED



First American Title Insurance Company

THE BLUE WILLOW, LLC, a Wyoming ^{close} limited liability company, Grantor, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid to an exchange intermediary pursuant to an agreement for a § 1031 tax deferred exchange, receipt of which is hereby acknowledged, CONVEYS AND WARRANTS to WIND RIVER PARTNERS, LLC, a Wyoming limited liability company, Grantee, of P.O. Box 6754, Jackson, WY 83002, the following-described property situated in the County of Teton, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State, to-wit:

Lot 1 of Block 4 of the Cache Creek Addition to the Town of Jackson, Wyoming, according to that plat recorded in the Office of the Clerk of Teton County on July 18, 1905 as Plat No.102.
PID# 22-41-16-34-2-08-005

Including and together with all and singular the tenements, hereditaments, appurtenances and improvements thereon or thereunto belonging, but subject to taxes, reservations, covenants, conditions, restrictions, rights-of-way and easements of sight and record, if any.

WITNESS my hand effective the 15 day of Dec, 2008.

GRANTOR: BLUE WILLOW LLC
GRANTEE: WIND RIVER PARTNERS LLC
Doc 0743465 bk 714 pg 412-412 Filed At 15:08 ON 12/15/08
Sherry L. Daigle Teton County Clerk fees: 8.00
By Michele Fairhurst Deputy

THE BLUE WILLOW, LLC
A Wyoming limited liability company
^{close}

By: [Signature]
Brent A. Blue, Manager

STATE OF Wy)
COUNTY OF Teton) ss.

On this 15 day of Dec, 2008 the foregoing instrument was acknowledged before me by Brent A. Blue, who did swear that he is the Manager of The Blue Willow, LLC, a Wyoming ^{close} limited liability company, and that he signed the foregoing with full authorization under the Operating Agreement of said company.

WITNESS my hand and official seal.

(Seal)

My commission expires:

[Signature]
Notary Public

